

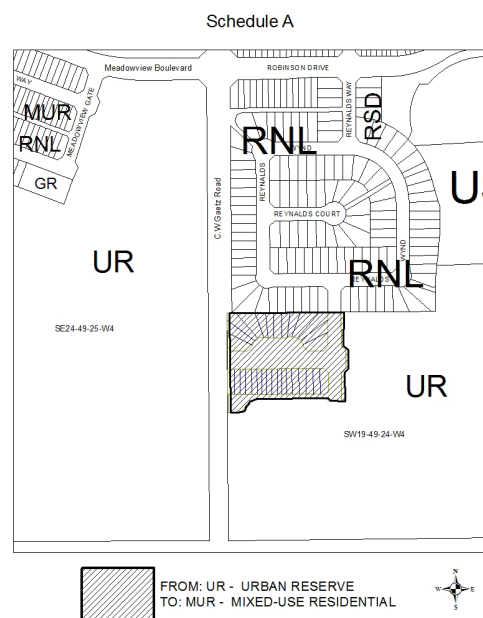
NOTICE OF PUBLIC HEARING PROPOSED AMENDMENT TO LAND-USE BYLAW

The City of Leduc is divided into land use districts to manage the location of development and ensure good planning for the municipality. Each district under the Land Use Bylaw has permitted and discretionary uses as well as development regulations for those uses. To change a land use district from what is existing under the Land Use Bylaw, the proposed amendment must be published to allow citizens an opportunity to clarify what is proposed, ask questions, or present objections at a required public hearing held prior to Council approving the amendment.

Bylaw No. 990-2018

The purpose of proposed Bylaw No. 990-2018 is to amend Bylaw No. 809-2013, the Land Use Bylaw of the City of Leduc, by redistricting part of the SW ¼ Section 19-49-24-W4 from UR – Urban Reserve to MUR – Mixed Use Residential.

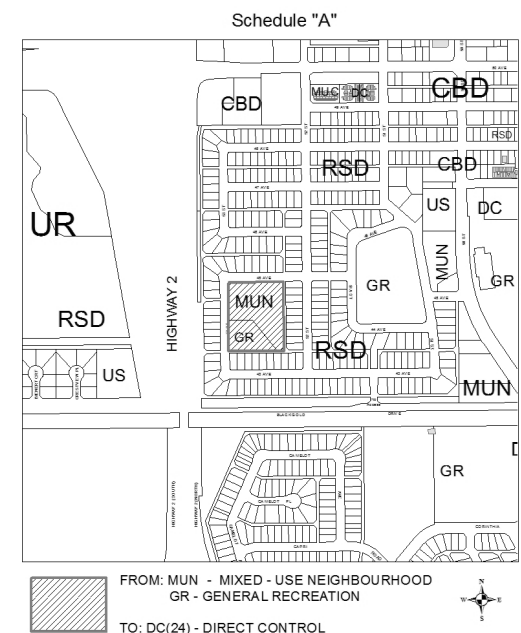
The MUR land use district provides for the Development of a range of Dwelling Unit types and densities, along with community supporting services. The proposed redistricting will allow 12 lots for single detached dwellings, 10 lots for duplex dwellings, and 8 townhouses.



Bylaw No. 992-2018

The proposed amendment is intended to enable the redevelopment of the Alberta Social Housing Corporation (AHSC) project in Linsford. The new project, referred to as the Linsford Gardens Housing Project, consists of the replacement of the existing housing units by 64 new dwelling units distributed through 5 buildings. These dwelling units will be located both north and south of the future relocated municipal park as per the proposed layout. The proposed layout requires a land exchange between the Alberta Social Housing Corporation and the City of Leduc, and once the redevelopment of the site is completed, the public park will be in a different location than Simpson Park is currently in. The land exchange has been requested in order for the project to meet the following objectives:

- Replace 42 units, + 22 new (Total of 64 dwelling units)
- Modest size & design
- Safe, Comfortable, Affordable
- Cost effective
- Energy efficient
- Positive Streetscape
- Preserve trees
- Community Park access
- Visibility through street and park
- Minimize lane congestion
- Street oriented units
- No tenant displacement
- Neighborhood friendly



A copy of the proposed bylaws that will be presented to City Council may be inspected by the public between the hours of 8:30 a.m. and 12:00 noon and 1:00 p.m. and 4:30 p.m. at the Office of the City Clerk, City Hall, Leduc Civic Centre, 1 Alexandra Park, 46th Avenue and 48A Street, Leduc, Alberta. Inquiries respecting the proposed bylaws may be made at the City's Planning and Development Department or by contacting April Renneberg at (780) 980-8439. A copy of the proposed bylaws may also be viewed on the City's website at www.leduc.ca under 'Government >Public Hearings.'

Public Hearing – August 20, 2018

At its meeting on **Monday, August 20, 2018 at 7:00 p.m.** or as soon thereafter as may be convenient, in the Council Chambers, City Hall, Leduc Civic Centre, 1 Alexandra Park, 46th Avenue and 48A Street, Leduc, City Council will hold a public hearing on the proposed bylaw. **All interested persons may be heard by Council prior to the proposed bylaw being considered for second reading.**

Any person who wishes to speak to City Council at the time of the public hearing is requested to advise the City Clerk's Office, at 780-980-7177 before 12:00 noon, **Monday, August 20, 2018.** They may also be heard by responding to the Mayor's call for delegations at the time of the public hearing. Written submissions must be submitted to the City Clerk's Office, City Hall, before 12:00 noon, **Friday, August 17, 2018.**

This notice is being advertised in the August 3 and 10, 2018 issues of this newspaper.