

**REGULAR COUNCIL MEETING AGENDA
MONDAY, MARCH 11, 2019 AT 7:00 P.M.
COUNCIL CHAMBERS, LEDUC CIVIC CENTRE
1 ALEXANDRA PARK, LEDUC, ALBERTA
PAGE 1**



1. CALL TO ORDER

2. ADOPTION OF AGENDA

3. ITEMS FOR DISCUSSION AND RELATED BUSINESS

3.1 Select Items for Debate

3.2 Vote on Items not Selected for Debate

4. ADOPTION OF PREVIOUS MINUTES

4.1 Approval of Minutes of the Regular Council Meeting held Monday, February 25, 2019

5. RECOGNITION ITEMS

There are no Recognition Items for the Agenda.

6. PUBLIC COMMENTARY

7. PUBLIC HEARING

Explanation of the Public Hearing Process

7.1 Bylaw No. 1021-2019 - Amendment to Robinson Area Structure Plan

Call for Persons to Speak

8. PRESENTATIONS

There are no Presentations for the Agenda.

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PAGE 2**



9. BUSINESS

- | | | |
|---|-----|--|
| J. Whitton &
D. Linehan,
Board Members /
D. Brock /
D. Melvie | 9.1 | Leduc Golf & Country Club – Memorandum of Agreement |
| J. Cannon | 9.2 | 2018 Operational and Capital Carry Forward |
| S. Losier | 9.3 | Policy 61.00:03 – Lot Drainage & 61.00:04 - Procedure for Obtaining Lot Grading Approval |

10. BYLAWS

- | | | |
|------------------------|------|--|
| K. Woitt | 10.1 | Bylaw No. 1021-2019 - Amendment to Robinson Area Structure Plan (2nd & 3rd Readings) |
| C. Chisholm | 10.2 | Bylaw No. 1007-2018 - False Alarms Bylaw (2nd & 3rd Readings) |
| G. Damo | 10.3 | Bylaw No. 1020-2019 - 2019 Supplementary Assessment Bylaw (1st, 2nd & 3rd Readings) |
| J. Cannon /
G. Damo | 10.4 | Bylaw No. 1016-2018 – Offsite Levy Southeast Boundary Road (Hwy 2A to Coady Blvd) (2nd & 3rd Readings) |

11. PUBLIC COMMENTARY

12. IN-CAMERA ITEMS

There are no In-Camera Items for the Agenda.

13. RISE AND REPORT FROM IN-CAMERA ITEMS

**REGULAR COUNCIL MEETING AGENDA
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PAGE 3**



14. UPDATES FROM BOARDS & COMMITTEES

- 14.1 Council Member Updates from Boards & Committees
- 14.2 Council Member Updates from Commissions, Authorities, Other

15. INFORMATION REPORTS

- 15.1 Building Inspector's Report
- 15.2 Newly Issued Business Licences

16. ADJOURNMENT

CALL TO ORDER

ADOPTION OF AGENDA

This is your opportunity to make an addition, deletion or
revision to the Agenda

ITEMS FOR DISCUSSION AND RELATED BUSINESS

**MINUTES OF THE CITY OF LEDUC
COUNCIL MEETING**

Monday, February 25, 2019

Present: Mayor B. Young, Councillor B. Beckett, Councillor G. Finstad,
Councillor B. Hamilton, Councillor L. Hansen, Councillor T. Lazowski,
Councillor L. Tillack

Also Present: P. Benedetto, City Manager, M. Hormazabal, Deputy City Clerk

1. CALL TO ORDER

Mayor B. Young called the meeting to order at 7:06 pm.

2. ADOPTION OF AGENDA

MOVED by Councillor G. Finstad

That the agenda be adopted as presented.

Motion Carried Unanimously

3. ITEMS FOR DISCUSSION AND RELATED BUSINESS

3.1 Select Items for Debates

The following items were selected for debate:

9. Business

9.1 Leduc Public Library Update

9.2 10 Year Capital Plan Sequencing

10. Bylaws

10.1 Bylaw No. 1019-2019 – Amendment to Bylaw No. 580-2004 – Animal
Licencing and Control Bylaw (1st Reading)

3.2 Vote on Items not Selected for Debate

Votes recorded under item headings.

4. ADOPTION OF PREVIOUS MINUTES

4.1 Approval of Minutes of the Council Meeting held February 11, 2019

MOVED by Councillor L. Tillack

That the minutes of the Regular Council Meeting held February 11, 2019 be approved as presented.

Motion Carried Unanimously

5. RECOGNITION ITEMS

There were no recognition items for the agenda.

6. PUBLIC COMMENTARY

There was no public commentary.

7. PUBLIC HEARING

7.1 Bylaw No. 1008-2018 – East Telford Lake Area Structure Plan

Mayor B. Young declared the Public Hearing for Bylaw No. 1008-2018 open at 7:06 pm.

Presentations:

S. Cole, Stantec Consultant, and A. Fayn, MXD Development Strategists, made a joint PowerPoint presentation (Attached).

B. Gaetz and D. Grimble made a presentation (Attached). B. Gaetz confirmed many of his comments and objections have been addressed; however, there are two major problems with the January 2019 report:

1. the phasing/timing of the proposed path of development; and
2. the discriminatory way that servicing standards are addressed as between the lands north and south of Telford Lake.

B. Gaetz and D. Grimble are recommending that Council refer this plan back to Administration for further review and analysis. There is a belief that the review will bring forward an opportunity for a re-write of portions of the plan, which would accomplish a better, and more practical, plan.

S. Losier, Manager, Current Planning, S. Cole and A. Fayn answered questions.

Council requested Administration to:

1. Confirm if there is a need for a rural and industrial cross section; and

2. That the 35-year statement removed from the plan.

Administration:

There were no presentations.

Written Submissions:

One written submission was received from B. McCollum, President, Baramy Investments Ltd. (Attached)

Other Presentations

There were no other presentations.

Mayor B. Young declared the Public Hearing for Bylaw No. 1008-2018 closed at 7:58 pm.

8. PRESENTATIONS

There were no presentations for the agenda.

9. BUSINESS

9.1 Leduc Public Library Update

C. Frybort, Library Director and D. Matthews, Vice-Chair, Leduc Library Board, made a PowerPoint presentation (Attached) and answered Council's questions.

Councillor L. Hansen, stated that many of the board members are new and they are doing a great job.

Councillor B. Beckett, thanked the library for the inclusiveness in cultural diversity.

9.2 10 Year Capital Plan Sequencing

J. Cannon, Director of Finance made a PowerPoint presentation (Attached) and reviewed the 10 Year Capital Plan Sequencing with Council and answered Council's questions.

10. BYLAWS

10.1 Bylaw No. 1019-2019 – Amendment to Bylaw No. 580-2004 – Animal Licencing and Control Bylaw (1st Reading)

C. Chisholm, Manager, RCMP Administration and Enforcement Services, made a PowerPoint presentation (Attached).

C. Chisholm and D. Melvie, General Manager, Community and Protective Services, answered Council's questions.

Administration recommends that Bylaw No. 1019-2019 receive first reading.

MOVED by Councillor G. Finstad

That Council give Bylaw No. 1019-2019 first reading.

Motion Carried Unanimously

MOVED by Councillor L. Hansen

That a Non-Statutory Public Hearing be held.

Motion Carried Unanimously

10.2 Bylaw No. 1021-2019 – Amendment to Robinson Area Structure Plan (1st Reading)

Administration recommends that Bylaw No. 1021-2019 receive first reading.

MOVED by Councillor L. Tillack

That Council give Bylaw No. 1021-2019 first reading.

Motion Carried Unanimously

11. PUBLIC COMMENTARY

There was no public commentary.

12. IN-CAMERA ITEMS

12.1 Council Appointment of a Public Member to the Leduc Environmental Advisory Board

13. RISE AND REPORT FROM IN-CAMERA ITEMS

13.1 Council Appointment of a Public Member to the Leduc Environmental Advisory Board

MOVED by Councillor L. Tillack

That Council appoints T. Pedersen as the Public Member to the Leduc Environmental Advisory Board to fulfill a term until December 31, 2019.

Motion Carried Unanimously

14. INFORMATION REPORTS

14.1 Mayor's Report

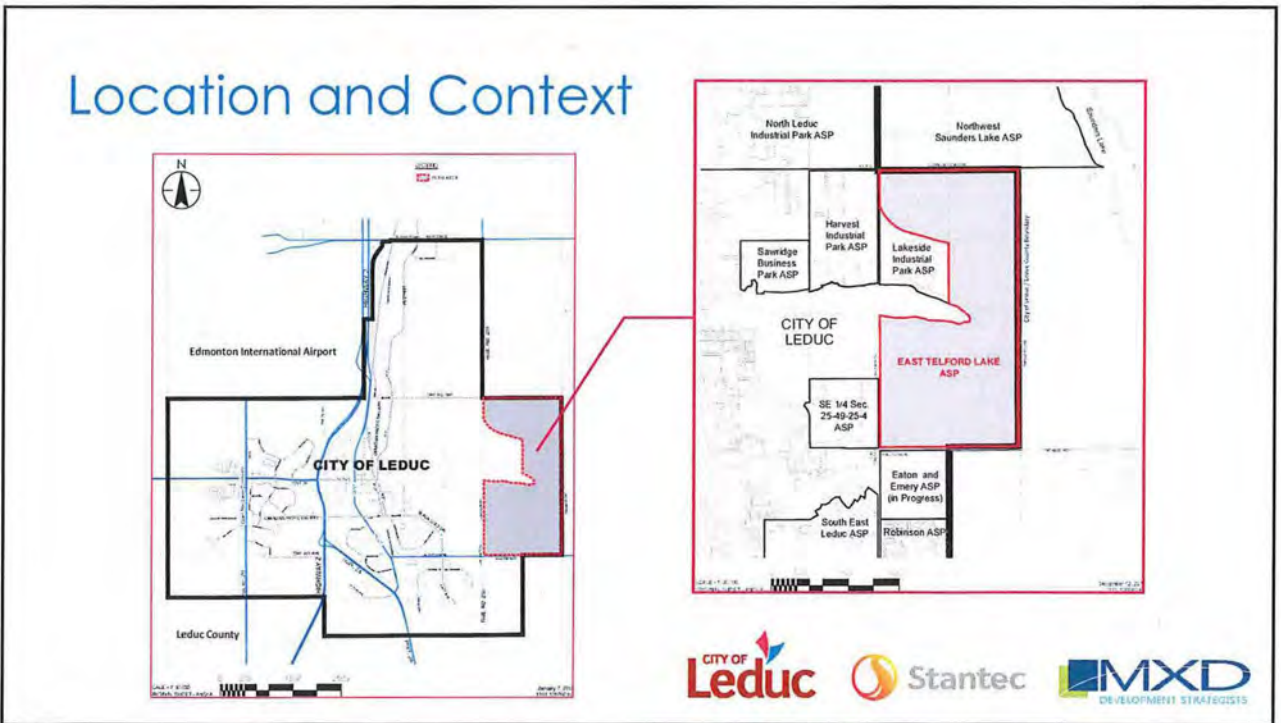
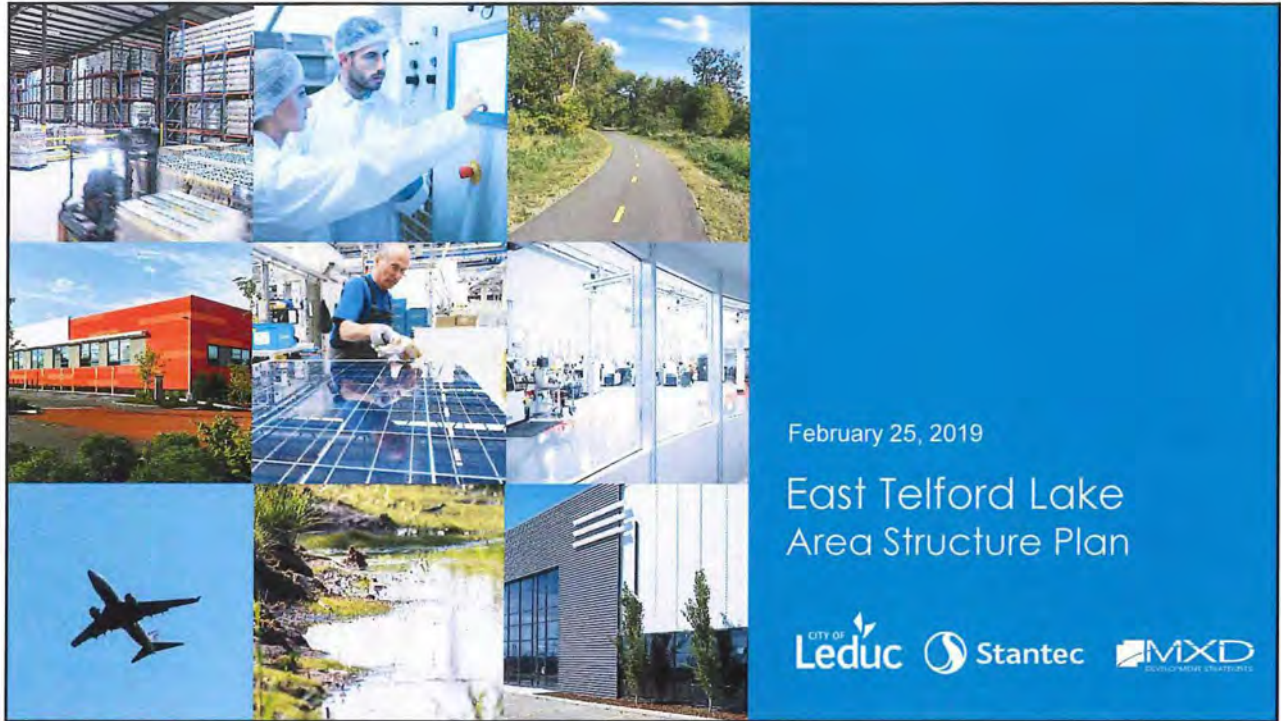
There was no discussion.

15. ADJOURNMENT

The Council meeting adjourned at 9:26 pm.

B. YOUNG, Mayor

M. HORMAZABAL, Deputy City Clerk



Engagement Process

Phase 1 – Project Initiation

- Awareness Launch – April 2017

Phase 2 – Background Review & Site Analysis

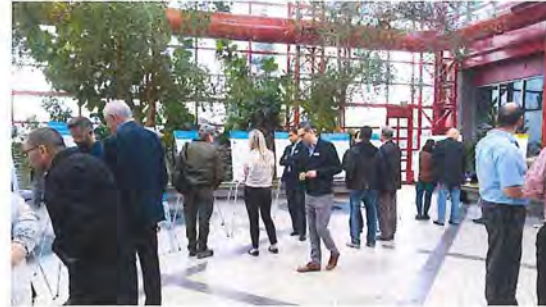
- Stakeholder Engagement Session – June 15, 2017
- Public Engagement Event – June 28, 2017

Phase 3 – Development of Draft ASP

- Stakeholder Engagement Event – November 23, 2017

Phase 4 – ASP Finalization

- Public Open House – October 24, 2018
- Public Hearing – February 25, 2019



ASP Concept

Key Land Use Statistics

- 430.3 ha Gross Area
 - 12.4 ha Environmental Reserve
- 418.0 ha Gross Developable Area
 - 48% Aero Employment
 - 18% Flex Business
 - 8% Park
 - 7% SWMF
 - 4% Urban Services
 - 3% General Commercial



Key Policy Areas



Aero Employment

- Allows single-use buildings such as light industrial, manufacturing, warehousing, and logistics
- Less intensive than Medium Industrial
- Encourages development of airport-related uses

Flex Business

- Encourages development with multiple uses that can include office, light assembly and manufacturing, product testing, storage, and distribution
- Promotes smaller scale development which may abut uses that are frequented by residents and visitors



Key Policy Areas



General Commercial

- Commercial uses serving employees in the area
- Retail stores, eating and drinking establishments, business support services, financial services, etc.

Urban Service

- Area planned for a new Municipal Cemetery, guided by the separate Cemetery Concept Master Plan
- Designed as a memorial parkland landscape which will be part of the overall green infrastructure and amenity assets of the City

Agriculture

- Interim use only, for existing operations



Key Policy Areas



Environmental Reserve

- ~10 m wide buffer around Telford Lake
- Other areas of potential ER may be dedicated at subdivision
- Wildlife corridor study to be completed

Park

- Protecting drainage course of Telford Lake
- Tree stand and wetland preservation
- Recreation and education opportunities
- Includes extension of Telford Lake Trail



Stantec



Transportation



Spine Road

- Linking Range Road 245 and 250
- Linking 65 Avenue to Rollyview Road
- Connecting plan area to Edmonton International Airport

Road Network

- No additional arterials beyond Spine Road and Rollyview Road

Processional Routes

- Alternative design standards for Processional Route leading to Municipal Cemetery



Stantec



Transportation



Rural Roadway Cross Section

- Uses roadside ditches for stormwater conveyance
- Sewer and water pipes, SWMFs required as usual
- Context north of Telford Lake is rural
- Walkability and transit access is limited

Urban Roadway Cross Section

- Uses curb & gutter as well as stormwater pipes
- Sewer and water pipes, SWMFs required as usual
- Context south of Telford Lake is more urban & residential
- Better walking and transit options



Stantec



Servicing – Storm



Stormwater Management Facilities

- North area: rural standards
- South area: urban standards

Storm Outfalls

- Three proposed outfalls
- South outfalls to drain to Telford Lake / drainage course
- North outfall to drain to Saunders Lake

Low Impact Development

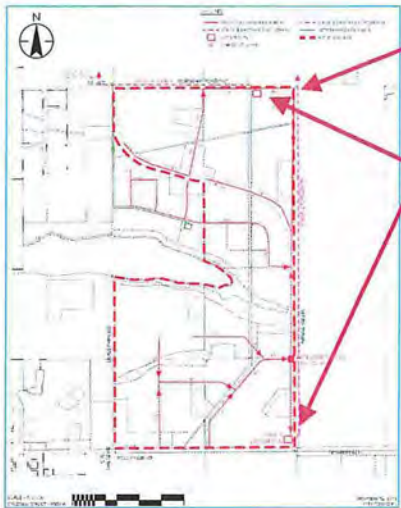
- To be used in roadway and site design



Stantec



Servicing – Sanitary



Sanitary System

- To be serviced by existing ACRWC trunk at Airport Road (north of ASP area)

Lift Stations

- 2 lift stations to service plan area



Servicing – Water



Water Network

- Aligns with City of Leduc Water Master Plan
- Follows arterial and collector roadways



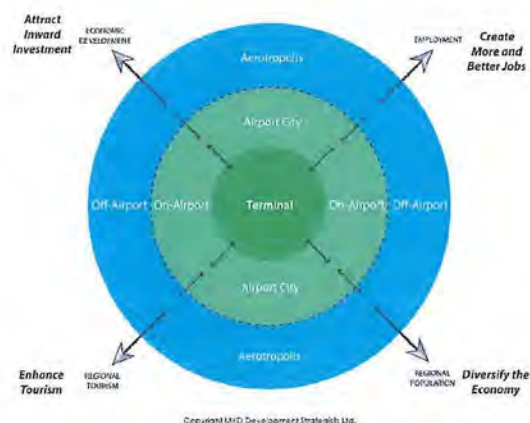
Aerotropolis Concept

What is an Aerotropolis?

- Airport areas as active gateways for economic growth and diversification
- Associated innovative land use policies to stimulate targeted development for a range of business sectors that benefit from multi-modal connectivity

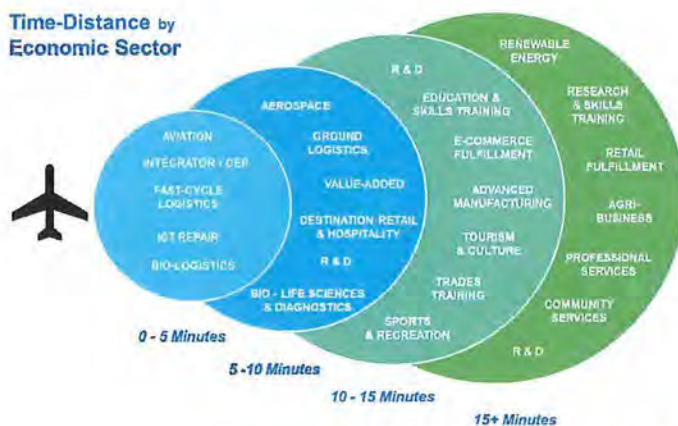
Aerotropolis Viability Study

- 2015 report
- Four priority areas targeted for growth, including the Telford Lake Southern District
- 7,428 direct new jobs planned over 2014-2044
- Potential economic clusters investigated



Airport Connected Development

Time-Distance by Economic Sector



Time-Distance Relationship

- Airport connected development as defined by the drive time to distance relationship
- Value-add economic sectors

Examples from elsewhere

- Composite specialized materials and food processing packaging – Winpack, Winnipeg, Manitoba
- Logistics and distribution hub – Amazon Prime, Cincinnati/Northern Kentucky International Airport



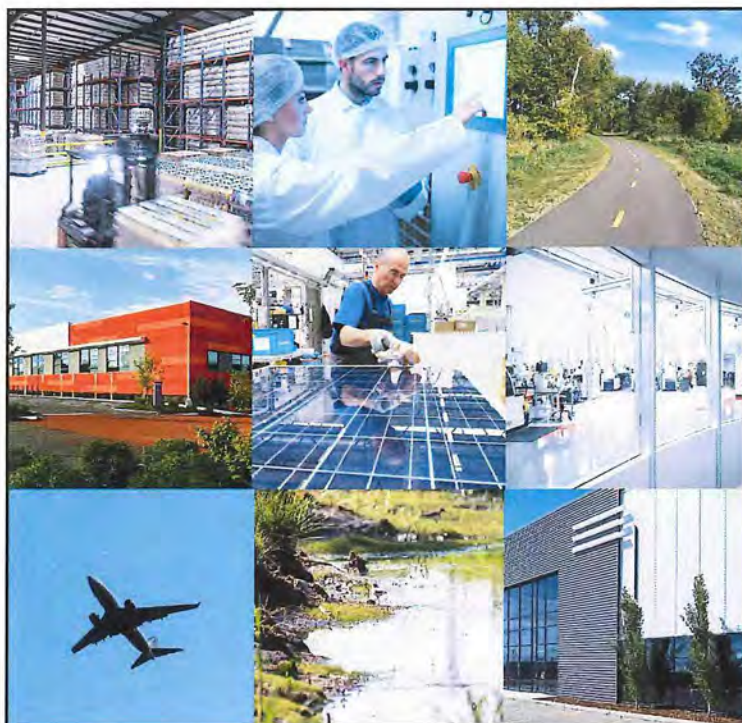
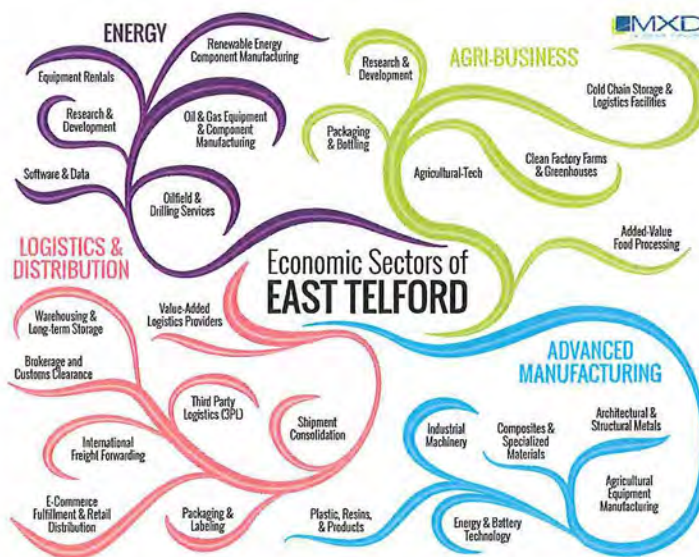
Economic Diversification

Economic Sectors of East Telford

- Energy
- Logistics and distribution
- Agri-business
- Advanced manufacturing

How does the ASP support this?

- Aero Employment and Flex Business policy areas
- Opportunities for a diversity of economic sectors to take advantage of airport proximity



Thank you!



FIGURE 9.0

LAND USE CONCEPT



EAST TELFORD LAKE ASP HEARING

LEDUC CITY HALL CHAMBERS – FEBRUARY 25, 2019

MR. MAYOR, Leduc City Councillors, City Administration, Ladies and Gentlemen, my name is Robert Gaetz and I am the owner of the SW ¼ 30 comprising 153.66 acres all of which is included within the East Telford Lake ASP document now before you for passage.

Having been born and raised in Leduc, I am well aware of the land development history of Leduc from the 1960's when my late parents acquired the lands surrounding Telford Lake. I have with me today, Mr. Don Grimble who has a planning degree and engineering background and who worked with my family on the north Leduc Industrial Park north of 65th Avenue on both sides of the CPR rail line which was all developed as Urban Cross Section (no swale drainage ways).

I have reviewed all of the four (4) drafts of the ASP document which were March 2018 through to January 2019. Many of my comments and objections were addressed, however, I still have two (2) major problems with the January 2019 document before you; namely the phasing/timing of the proposed path of development and secondly the discriminatory way that servicing standards are addressed as between the lands north and south of Telford Lake.

Firstly on the timing/staging/pace of development contained in Figure 11 of the document, I note that in 2.1 that under the MGA that there must be a "sequence of development proposed". I also note that under 2.2 subsection 4.1 that there is an

overarching guiding principle that the ASP “establish a compact and contiguous development pattern”. Contiguous to me means building out from existing development. This ASP plan does not represent a contiguous development pattern but rather a linear development into leap frog style development to get around a water body namely Telford Lake.

Under section 2.4 and 7.3 there is reference to most of the lands to the south of Telford Lake not being developable within the 35 year time frame of the current plans. I find it highly inappropriate and offensive to have my lands categorized in a municipal plan to be beyond the contemplated time horizon of the plans under discussion. The reference to this timing should be struck from the document.

To effect a compact and contiguous extension of development from existing built up Leduc, the ASP should endeavor to facilitate development generally in an east bound direction concurrently on both the north and south sides of Telford Lake. The lands in the West ½ of Section 30 generally slope to the north to Telford Lake and make its early development both practical and logical. Waiting 35 or more years for land a stone's throw from Christ the King school, a new church, the Lion's campground and the expanding Robinson neighborhood seems wrong headed if a practical solution to sanitary sewer servicing can be implemented.

Under section 2.4, the five sustainability pillars including “Smart Growth”, are not achieved by the current plan phasing. For the residents of Robinson and Tribute to have

to wait for more than 35 years for employment and commercial opportunities in their vicinity is, in my opinion, "far from smart".

In applying some IMAGINATION to this proposed plan, I would like council to consider the following servicing alternative to allow both the lands to the north and south of Telford Lake to proceed in development concurrently in an easterly direction. I have taken the liberty of altering the development phasing map in Figure 11 to consider the two compartmentalized areas to be concurrently phased as Section 1 to 3 on both the north and south sides of Telford Lake.

This can be accomplished by reversing the direction of the lift station shown on NW ¼ Section 30 on Figure 12 of the March 29, 2018 draft to push sanitary effluent in a sanitary sewer line to be augered under Telford Lake for a "mere distance of ¼ mile". This line will interface with the Harvest Industrial plan and the Lakeside Industrial plan. It is commonly known that industrial sewage flows are a low fraction of residential sewer flows and any capacity issues with the outflow into the Leduc International Industrial line can be engineered into the south Telford Lake lands to allow storage for an after peak hour pump off at night. This practice has been successfully used by the City of Edmonton a prime example of which is the NEST sewer line on 153 Avenue.

The recent placement of the large diameter Millet water line under Telford Lake in this same road allowance has already passed the environmental approvals and also provides a permanent right of way path for this sewer servicing solution. This proposal does not disrupt the servicing and proposed phasing of the lands on the north side of

Telford Lake, however, I must say that the location of the North Telford Lake Phase I does represent somewhat of a leap frog of development. Sewer lines under the North Saskatchewan River in the City of Edmonton have been practical and common.

The benefits of this proposal to the City of Leduc is that it offers:

- a) Choice of location to the industrial market.
- b) More land development competition which always results in quicker aggregate development.
- c) Quicker development offers an enhanced tax base sooner. As an example, my property taxes for the SW ¼ of 30 under provincial legislation amount to under \$400/year. Waiting 35 years to change this seems irrational if it is not necessary.
- d) A more balanced growth in urban form.
- e) The ability for the City of Leduc to grow industrially if ownership interest issues in the early phases of the proposed plan prove to be an impediment to the development launch of this ASP.

My second area of concern is the way in which servicing standards are not applied evenly and fairly on the north versus the south side of Telford Lake. You will find these distinctions on pages 34 and 35 of the ASP document referring to Rural Cross Section (open drainage swales with no curb and gutter) on the north of Telford Lake versus Urban Cross Section (curb and gutter with deep storm sewer pipes), on the south side of Telford Lake.

First for a bit of history. Some 15 or so years ago, the developer of the lands from Airport road south to 65th Avenue convinced the City of Leduc to allow Rural Cross Section standards. This resulted in an approximate price advantage of \$250,000/acre compared with City of Edmonton Urban Cross Section industrial lands. This has been the reason for the rapid development of the Leduc International Industrial Park that we see today. I fully support a continuation of Rural Cross Section north of Telford Lake, however, except for the potentially commercial frontage on Rolly View Road. I strongly oppose Urban Cross Section on the balance of the lands south of Telford Lake for the following reasons:

- a) The south Telford Lake lands represent a new or pioneering location for Industrial Development and financially burdening these lands by expensive Urban Cross Section standards will discourage their development in the near, medium and long term and will not serve Leduc's goal of a 60% residential to 40% industrial/commercial tax base goal as stated in Leduc's 2012 municipal development plan.
- b) It should be noted that the Remington Discovery Park north and west of Highways 19 and QE2 are now in the City of Edmonton and are being developed to Rural Cross Section standards. Lands to the south of Telford Lake with imposed Urban Cross Section standards in a pioneering location will not have any hope of being developed and successfully marketed in the face of the "new" City of Edmonton Rural Cross Section standards. It is folly to plan lands for ultimate and inevitable failure.

- c) Leduc's planning department proposed that an upscale Office Park be developed in South Telford Lake with provision for bus stops, bike ways and so on. This is Utopian planning. Leduc is a winter city. People working in industrial parks generally drive vehicles or car pool to work. In any event, should a couple of transit drop off/pick up stops be necessary in the South Telford Lake lands, they could easily be built into a Rural Cross Section plan. No multi-ways through the South Telford Lake industrial are needed as the multi-way through the Lion's Campground Lands provide adequate access to Telford Lake from Robinson and beyond. The first bullet at the top of Page 11 admits that an office/park may not be practical. Having lived and worked through the National Energy Plan years of the early 1980's, nearly no new office towers were built in downtown Edmonton for about 35 years. Currently we are reliving similar market conditions of the 1980's. An office park will most likely not succeed.
- d) My 44 years of experience in the commercial/industrial brokerage business tell me that lands south of Telford Lake will not attract sufficient office space demand to launch, particularly in the face of the competition from the Edmonton International Airport lands and lands fronting QE2 such as Remington's Discovery Park.

The benefits to the City of Leduc in having Rural Cross Section standards south of Telford Lake are:

- a) They provide winter storage of snow in attractive graded and landscaped drainage swales and therefore reducing snow removal costs for the City of Leduc which would negate any potential costs of swale maintenance and may, in fact, provide a net cost benefit to the City of Leduc.
- b) Maintains a land price scenario competitive with other nearby municipalities allowing for a fair share of future development demand and expanding tax base for the City of Leduc.

I would like to point out that in other areas of Leduc, such as the Corinthia Park extension of sewer service into Southfort, there were similar servicing issues as the lands south of Telford Lake and workable solutions were found. The same effort should be made for the lands south of Telford Lake.

In conclusion, the rapid growth of Leduc over the past two decades has resulted from:

- a) Competitively reasonable land costs compared to the City of Edmonton.
- b) Reasonable real estate taxes relative to the City of Edmonton.
- c) Nearby access to three (3) modes of transportation by road rail and air.
- d) A small city feel for raising your family in a safe, friendly and economically progressive environment.

In conclusion, I would ask that council share my views and vision and to refer this plan back to administration for a further review and analysis of my propositions and to

do a potential re-write of portions of the plan to accomplish a better and more practical plan.

Myself and Mr. Grimble are more than happy to try to answer any questions that you may have and I welcome the plan authors to discuss with Mr. Grimble how we can make my proposals work.

Thank you for listening.

FIGURE 4.0

OWNERSHIP MAP



LEGEND

- PRIVATE LANDS
- PUBLIC LANDS



SCALE - 1:20,000
ORIGINAL SHEET - ANSI A



September 7, 2018
1161 105060 KC

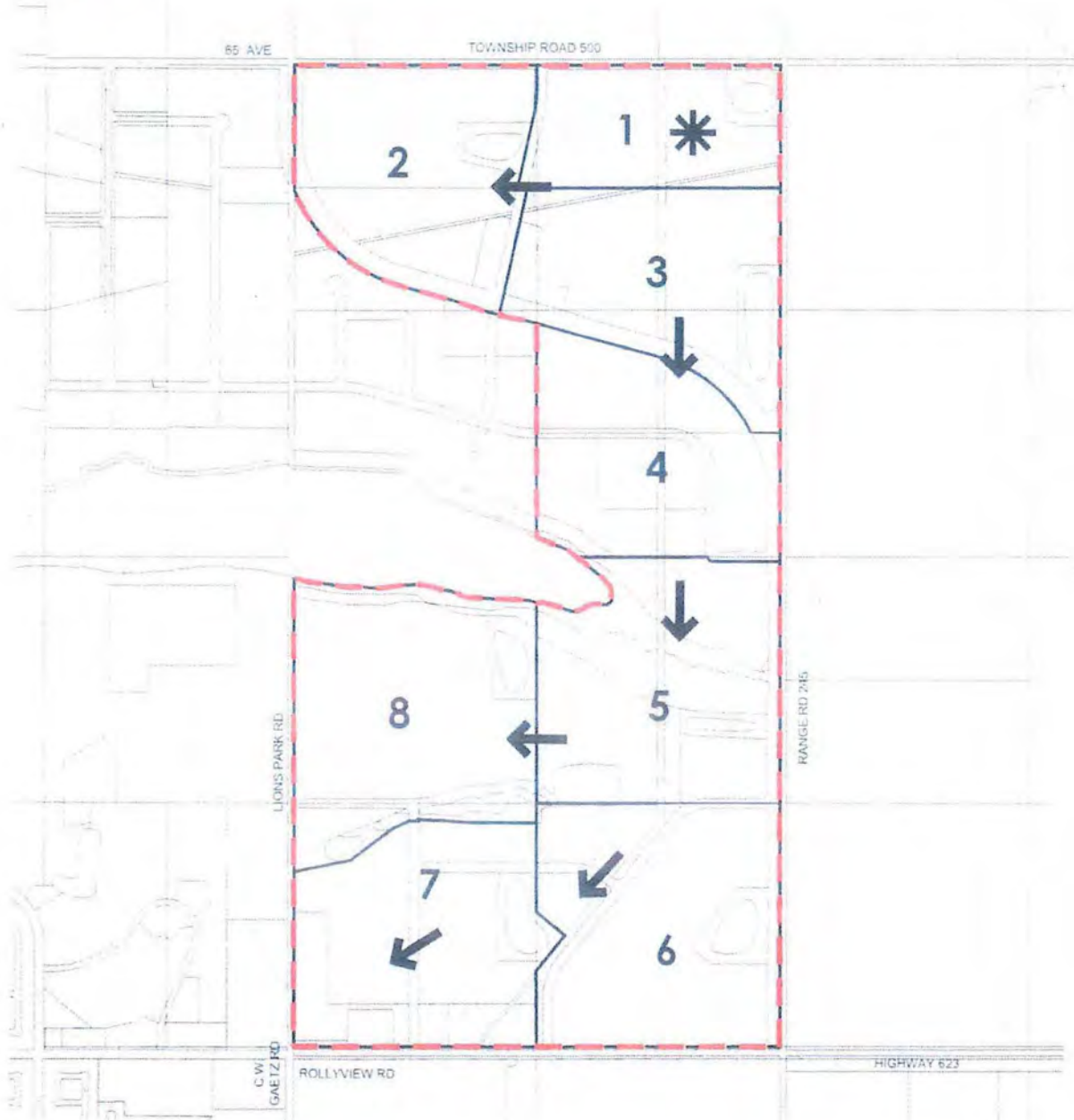
FIGURE 11.0

STAGING PLAN

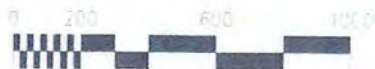


LEGEND

- INITIAL AREA OF DEVELOPMENT
- INDICATES THE GENERAL DIRECTION OF DEVELOPMENT
- ADP BOUNDARY



SCALE - 1:20,000
ORIGINAL SHEET - ANSI A



December 12, 2018
1161 109580 KD

ALTERNATE

FIGURE 11.0



LEGEND

- INITIAL REVISIONS
- INDICATES THE DIRECTIONAL FLOW OF FLOW
- RSP BOUNDARY
- Telford Lake Sewer Crossing



SCALE: 1:2000
ORIGINAL SHEET: A-NS1-A

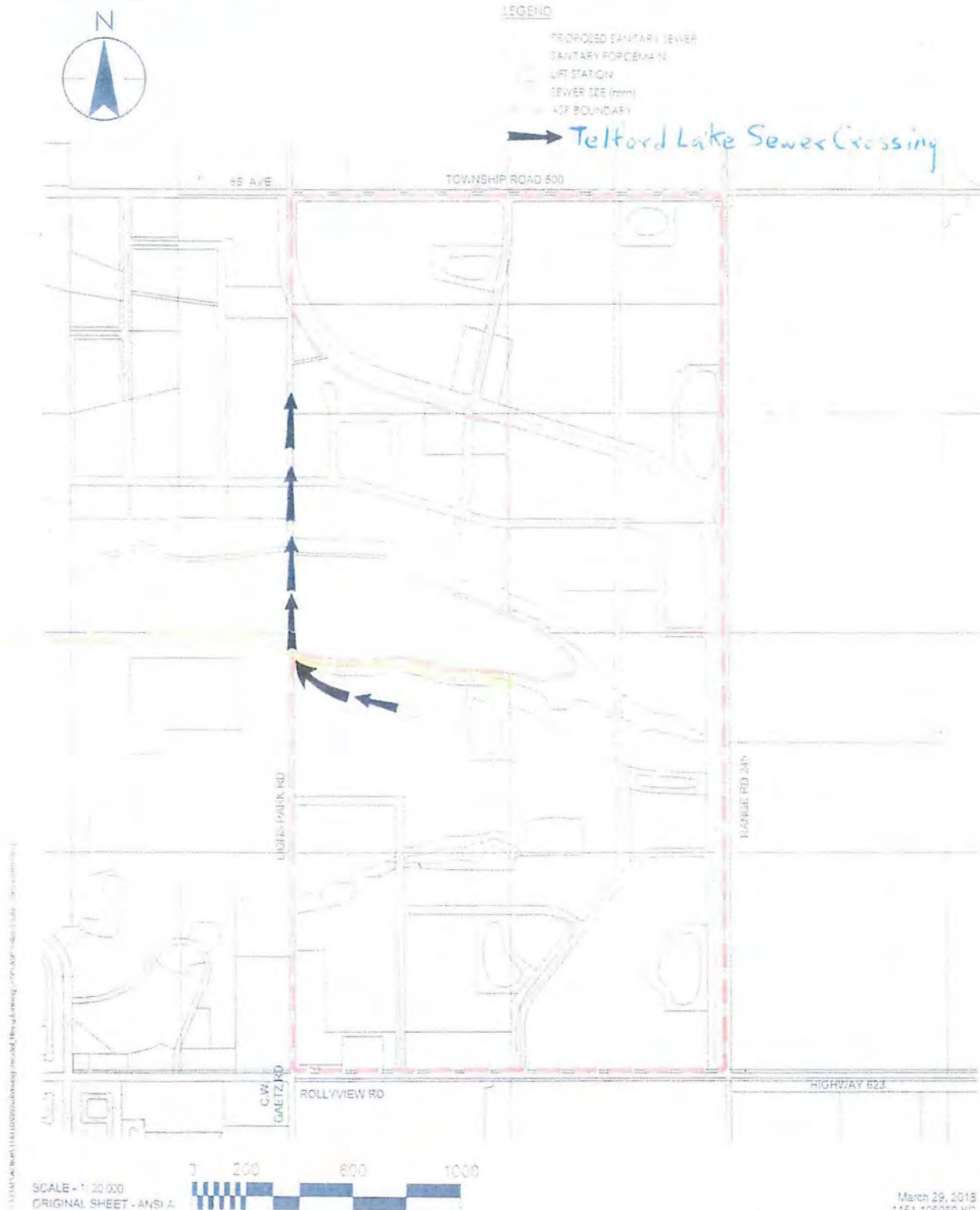


December 12, 2018
1161 106082 HQ

FIGURE 12.0

ALTERNATE

SANITARY SEWER CONCEPT



2.0 PLANNING CONTEXT

2.1 MUNICIPAL GOVERNMENT ACT

This ASP has been prepared in accordance with Part 17 of the *Municipal Government Act* (MGA). Per the MGA, an ASP must describe:

- the sequence of development proposed for the area;
- the land uses proposed for the area, either generally or with respect to specific parts of the area;
- the density of population proposed for the area either generally or with respect to specific parts of the area;
- the general location of major transportation routes and public utilities; and
- may contain any other matters, including matters relating to reserves, as the council considers necessary.

The ASP must be consistent with the IDP in respect of land that is identified in both the ASP and the IDP. The ASP must also be consistent with the MDP.

2.2 EDMONTON METROPOLITAN REGION GROWTH PLAN

In October 2017, the Alberta government approved the Edmonton Metropolitan Region Growth Plan (EMRGP). The Growth Plan guides the daily work of the Edmonton Metropolitan Region Board (EMRB), ensuring decisions and programs are integrated to support the long term economic prosperity and quality of life for all citizens of the Edmonton Metropolitan Region.

The Vision and Growth Plan are shaped by seven overarching Guiding Principles:

1. Collaborate and coordinate as a Region to manage growth responsibly.
2. Promote global economic competitiveness and regional prosperity.
3. Achieve compact growth that optimizes infrastructure investment.
4. Ensure effective regional mobility.
5. Recognize and celebrate diversity of communities, and promote an excellent quality of life across the Region.
6. Wisely manage prime agricultural resources.
7. Protect natural heritage systems and environmental assets.

The East Telford Lake ASP supports the EMRGP and facilitates the following objectives:

- 1.1 – Promote global economic competitiveness and diversification of the regional economy.
- 1.2 – Promote job growth and the competitiveness of the Region's employment base.
- 1.3 – Enhance competitiveness through the efficient movement of people, goods and services to, from and within the Region.
- 2.1 – Conserve and restore natural living systems through an ecological network approach.

- 2.2 – Protect regional watershed health, water quality and quantity.
- 2.3 – Plan development to promote clean air, land and water and address climate change impacts.
- 2.4 – Minimize and mitigate the impacts of regional growth on natural living systems.
- 4.1 – Establish a compact and contiguous development pattern to accommodate employment and population growth.
- 4.6 – Prioritize investment and funding of regional infrastructure to support planned growth.
- 5.1 – Develop a regional transportation system to support and enhance growth and regional and global connectivity.
- 5.3 – Coordinate and integrate land use and transportation facilities and services to support the efficient and safe movement of people, goods and services in both urban and rural areas.
- 5.4 – Support the Edmonton International Airport as northern Alberta's primary air gateway to the world.
- 6.2 – Minimize the fragmentation and conversion of prime agricultural lands for non-agricultural uses.
- 6.3 – Promote diversification and value-added agriculture production and plan infrastructure to support the agricultural sector and regional food system.

2.3 EDMONTON INTERNATIONAL AIRPORT VICINITY PROTECTION AREA REGULATION

The Province of Alberta's Edmonton International Airport Vicinity Protection Area Regulation (EIAVPAR; AR 55/2006) identifies a range of limits on development to address the functional requirements and noise impacts of airport operations. Specific to the plan area, the EIAVPAR identifies Noise Exposure Forecast (NEF) contour areas, within which various types of development should be restricted.

The majority of the plan area is affected by the overlay in one of the following contour areas: NEF 25-30, NEF 30-35, and NEF 35-40. These contour areas have increasing restrictions on the types of land uses that are permitted to be located within them. Examples of restricted uses include residences and campgrounds, churches, day cares, schools, and spectator sports facilities.

This ASP recognizes that a restriction on sensitive land uses is required to protect the continued successful operation of the Edmonton International Airport. To conform with the AVPA, this plan carefully considers the NEF contour lines when allocating land uses. As a result, a majority of the plan is designated for industrial type uses, and residential uses are completely omitted.

2.4 CITY OF LEDUC/LEDUC COUNTY INTERMUNICIPAL DEVELOPMENT PLAN BYLAW NO. 772-2011, AS AMENDED

In the Fall of 2007, the Councils of the City of Leduc and Leduc County agreed to the collaborative preparation of the Joint Sustainable Growth Study and an Intermunicipal Development Plan (IDP). The Guiding Principles are regional in scope and are based upon five Sustainability Pillars:

- Smart Growth
- Creating Vibrant Communities
- Environmental Stewardship
- Economic Development
- Responsible Governance

In 2017, the IDP was amended to facilitate the business-based land use policies along the east side of the City and around the County's Saunders Lake. The East Telford Lake ASP is located within policy areas B (Saunders/Telford Lake Business) and G (Southeast Business Industrial).

The general purpose and intent of the Saunders/Telford Lake Business Policy Area B is to provide for high quality business, light industrial, and office development with complimentary commercial uses north of Saunders Lake.

Southeast Business Industrial Policy Area G, located south of Telford Lake, is meant to provide for commercial, office, business, and light industrial development. Given servicing constraints, this area is not expected to be developed within the 35-year time horizon of the IDP.

2.5 MUNICIPAL DEVELOPMENT PLAN, BYLAW 773-2011, AS AMENDED

In April 2012, the City of Leduc approved the MDP (Bylaw 773-2011). The MDP was subsequently amended in January 2015 (Bylaw 870-2014) and August 2017 (Bylaw 934-2016). The City of Leduc MDP provides a long-term vision and policy direction for growth and development in the city. The MDP determines where growth is most feasible based on such factors as infrastructure, sustainable growth principles, and economic development opportunities. The MDP also addresses the environment; the economy and tourism; social wellness and safety; recreation and culture; governance; and the administration, monitoring, and implementation of the MDP policies.

Several land use policy area designations are identified within the ASP area – Telford Lake Commercial, Office, Light Industrial, and Business Park; Transitional Industrial Use; Open Space and Greenways; and Riparian Areas (see Figure 5: MDP Context).

Telford Lake Commercial, Office, Light Industrial, and Business Park uses are to be developed along the north and south sides of Telford Lake, to ensure the compatibility of development with adjacent parks and natural areas, and to mitigate environmental and visual impacts on Telford Lake and the surrounding riparian areas. The MDP also directs these areas to incorporate low-impact stormwater

7.0 IMPLEMENTATION

The implementation of this plan may require amendments to the Land Use Bylaw to create or modify land use districts or overlays to support implementation of the policy directions of this plan.

Outline Plans will be required prior to redistricting and subdivision to ensure that sub-areas are planned to an appropriate level of detail.

Within this plan area, the City of Leduc will require development proponents to assume financial responsibility for the extension of all required municipal utility services, including any initial capital cost. In accordance with the provisions of the *Municipal Government Act*, the City will endeavour to ensure that development proponents receive appropriate compensation from future benefiting developments as they occur, either through the establishment of a levy, cost sharing arrangements, or some combination thereof.

7.1 OUTLINE PLANS

- A. Prior to the approval of redistricting or subdivision that would allow development to proceed, detailed Outline Plans shall be prepared by the applicant and accepted by the City of Leduc. The City, at its sole discretion, may waive the requirement for an Outline Plan.
- B. Outline Plans shall be consistent with the East Telford Lake ASP, and with all adjacent Outline Plans.

7.2 LAND USE BYLAW

- A. Amendments to the Land Use Bylaw may be required to ensure that development occurs as envisioned in the East Telford Lake ASP. The City of Leduc shall be responsible for initiating the amendment process.

7.3 STAGING

Development is anticipated to begin in the north of the ASP area, and proceed south and west, as services are extended as indicated in Figure 14: Staging Plan. In general, development will proceed in a manner that is contiguous, logical, and economical with respect to municipal servicing. Development of individual phases may vary from the actual outline plan, redistricting and subdivision applications, depending on market demand and the aspirations of respective landowners. Should sufficient demand warrant, or engineering design be made more efficient, portions of separate phases may be developed concurrently.

City of Leduc
East Telford Lake Area Structure Plan

Per Section 5.8 of the IDP, future development within Policy Area G (located south of Telford Lake) is not expected to occur within the 35-year time horizon of the IDP. However, development of the cemetery (Urban Services) may proceed in advance of the full availability of municipal services.

- A. Arterial and collector roadways within the East Telford Lake ASP shall be developed in general accordance with Figure 10: Transportation Plan.
- B. Arterial and collector roadways north of Telford Lake will be designed to a rural standard, unless otherwise specified in roadway planning studies, or where they tie into existing urban standard roadways.
- C. Arterial and collector roadways south of Telford Lake will be designed to an urban standard, unless otherwise specified in roadway planning studies.
- D. As development occurs, the City of Leduc will review opportunities and requirements for public transit. Arterial and collector roadways may, at discretion of the City, be designed to accommodate transit routes and stops. Locations of transit stops and routes will be determined at the Outline Plan stage.
- E. Outline plans shall identify sufficient road right of way to accommodate the roadway requirements identified in the East Telford Lake TIA, or through functional plans. If modifications to roadway standards are required, cross sections shall be approved by the City of Leduc.

5.3 LOCAL ROADWAYS

Requirements for local roadways will be determined at the Outline Plan stage.

- A. Local roadway alignments will be identified at the Outline Plan stage and will be designed and developed to a rural standard, in accordance with the City of Leduc Minimum Engineering and Design Standards.
- B. Local roadway alignments will be identified at the Outline Plan stage and will be designed and developed to an urban standard, in accordance with the City of Leduc Minimum Engineering and Design Standards.
- C. Local roadways north of Telford Lake will be designed to a rural standard, unless otherwise specified in roadway planning studies, or where they tie into existing urban standard roadways.
- D. Local roadways south of Telford Lake will be designed to an urban standard, unless otherwise specified in roadway planning studies.

5.4 PROCESSIONAL ROUTES

In order to reflect the character of the routes into the Urban Services Area (municipal cemetery) as areas of solemn reflection and respect, to provide space for 'decompression', and to differentiate them from other exclusively industrial/commercial areas, alternative design standards may be applied to applicable Processional Routes.

6.4.1 Policy

- A. Notwithstanding Policies 6.2.1 (B) and 6.3.1 (A), roadways indicated in Figure 10: Transportation Plan as Processional Routes, shall be designed constructed, to the satisfaction of the City of Leduc, to ensure their intended function and character. Other roadways, including local roadways, may be identified at the Outline Plan stage.

6.0 SERVICING

A Servicing Study outlining the stormwater, sanitary, and water systems for the ASP area, was prepared and submitted under separate cover (Stantec, 2018). This section provides a description of the conceptual servicing schemes, and provides policy direction. All water, sanitary and storm servicing plans will need to be confirmed at subsequent design stages.

6.1 STORMWATER MANAGEMENT

Figure 11: Stormwater Servicing shows the proposed stormwater servicing plan. Several stormwater management facilities (SWMFs) are identified based on the existing topography and drainage patterns and the land use and transportation designs. The location and configuration of the proposed stormwater management facilities will be further refined based on the detailed drainage area grading and internal roadway network requirements.

The north area of the East Telford Lake ASP is proposed to be developed to rural standards while the south area is proposed to be developed to urban standards. The conveyance system within each drainage basin will need to be designed based on the local roadway configuration and site grading requirements.

As shown on Figure 11: Stormwater Servicing, three outfalls are proposed to service the ASP area. It is proposed that the south ETL area will be drained to Telford Lake through the two proposed outfalls. For the north ASP area, one outfall is proposed through a tributary located on a privately-owned parcel in the County discharging to Saunders Lake. This cross-boundary drainage will require intermunicipal and/or owner approval. Alternatively, a piped outlet discharging directly to Saunders Lake could be constructed along Township Road 500. Draining the north ETL area to Telford Lake would require pumping and is not recommended.

DISCOVERY

BUSINESS PARK

STAGE 1 - SUBDIVISION PLAN

-  LI - LIGHT INDUSTRIAL
-  UC3 - URBAN COMMERCIAL
-  BUSINESS PARK



- BUILD-TO-SUIT & LAND SALE OPPORTUNITIES
- PHASE I SERVICING TO BE COMPLETED Q4 2018
- FULLY SERVICED INDUSTRIAL/COMMERCIAL LOTS
- FLEXIBLE SIZE RANGES FOR VARIOUS USERS
- HIGH TRAFFIC EXPOSURE ALONG QEII & HWY 19
- PRICING STARTING AT \$550,000 PER ACRE



QuadReal™

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recommended in the AVS were considered, and their current validity confirmed based on the changing economic landscape that has occurred in Leduc and Alberta since 2015.

Based on the research conducted through a Regional Economic Development Analysis, and an Economic Diversification Analysis, several key items were determined:

- A large spike in the office vacancy rate over the past several years in the Edmonton Metropolitan Region may prohibit the construction of a Lakefront Corporate Park. A Lakefront Corporate Park should still be considered over a medium to long term phasing schedule, but possibly at a smaller-scale than previously planned.
- Industrial space has continued to be a strong performer from a leasability standpoint in the Edmonton Metropolitan Region, even through an economic downturn.
- Flex industrial / flex commercial space has become a preferred choice of development for many developers and end-user tenants. There may be a greater opportunity for flex space moving forward. Flex industrial and flex commercial space allows for a multitude of uses and tenants to work in synergy with each other.
- The four core economic clusters identified in the 2015 study for the Telford Lake Southern District are viable and have great potential for the East Telford ASP.
- The ICT cluster has better validity to be included within the primary economic clusters of agri-business, advanced manufacturing, and energy, rather than a standalone cluster.
- The sub-sector of agricultural-biotech within the life sciences cluster has better validity to be included within the agri-business cluster (described as "ag-tech"). Other life science sub-sectors such as medical devices, research and development, and pharmaceuticals, would be more optimally located closer to EIA, at the 65th Avenue West priority area.
- The phasing diagram depicted in the AVS for the East Telford ASP Area may require alteration due to varying availability of utilities, including sanitary servicing. The first phase of development will occur where access to sanitary servicing is provided.

These themes were considered and applied in the planning process for the East Telford ASP.

2.7 TELFORD LAKE MASTER PLAN

The Telford Lake Master Plan provides a comprehensive plan and strategy for development and management of Telford Lake and the lands that surround it (ISL Engineering, 2010). The five key objectives of the Telford Lake Master Plan are:

- Environmental Protection – protect water quality, habitat and vegetation for visitors and wildlife.
- Multiway and Trails – provide for the extension of the multiway network around the lake.
- Recreation Open Space and Facilities – define and create a series of recreation facilities around the lake.
- Paddling Venue – provide a plan for the establishment of Telford Lake as a regional paddling centre.
- Land Acquisition – define land acquisition requirements and the mechanisms for these acquisitions.

**Written Submission for Public Hearing on February 25, 2019, on
Bylaw No. 1008-2018 – East Telford Lake Area Structure Plan**

From: Bruce A. McCollum
Sent: February-20-19 6:18 PM
To: Sylvain Losier <SLosier@leduc.ca>
Subject: RE: East Telford Lake ASP - Final Draft

Hi Sylvain,

Further to our conversation on February 19/19 regarding my concerns with the proposed ASP which I have outlined herein.

- a) I would like to propose that the south half of our land be classified as Aero Employment under land use. This would provide much more flexibility over time to develop our land. This portion will be accessible from the collector and easy connection to the highway. We do not believe the market will be deep enough to populate the entire property under Flex Business. We are happy with the Flex Business land use on the north half of our land as it relates to the lake and the multiway.
- b) I think that stating in the ASP that our land south of Telford Lake won't be developed for 35 years is a very negative statement. Potential tenants, investors, developers and financial institutions look at that, because the City has said it, and bypass our area to focus on lands north of the lake and north of the airport. This kind of statement is not good for any of the stakeholders.
- c) Designating the land south of the lake as urban cross section will significantly add to the servicing costs and render the serviced sites uncompetitive compared to lands north of the airport and north of the lake.

We hope that the City will appreciate these concerns and consider modifying the ASP in favor of the comments above. Thank you.

Bruce A. McCollum
President
Baramy Investments Ltd.



Leduc Public Library 2019 Update

Welcome to Your Library!

► Introductions



Where are we Going? Strategic Plan

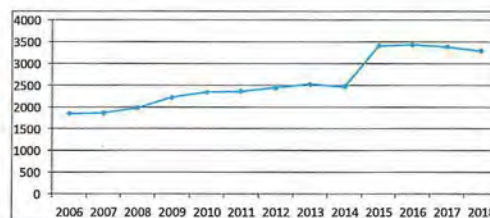
- ▶ Strategic Plan covers 2015–2019
- ▶ Community input in 2019
- ▶ Our direction for next five years – chosen by residents



Who is coming to the Library?

- ▶ Residents of Leduc
- ▶ Residents of Leduc County
- ▶ Patrons from other TRAC libraries
- ▶ Residents of Edmonton and other non- TRAC libraries

of New
Library Cards
Issued



Books Go In, Books Go Out!

- ▶ Over 70,000 items
- ▶ 2 million items from TRAC
- ▶ Lent out 33,000 items to residents in other communities through their library



Meeting Room Use By Our Community

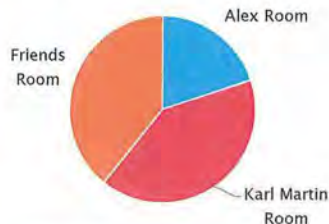
- ▶ Prior to 2015 we did not rent out rooms
- ▶ New facility, new rooms!

- ❖ Alexandra Program Room
- ❖ Friends of the Leduc Library Meeting Room
- ❖ Karl Martin Meeting Room

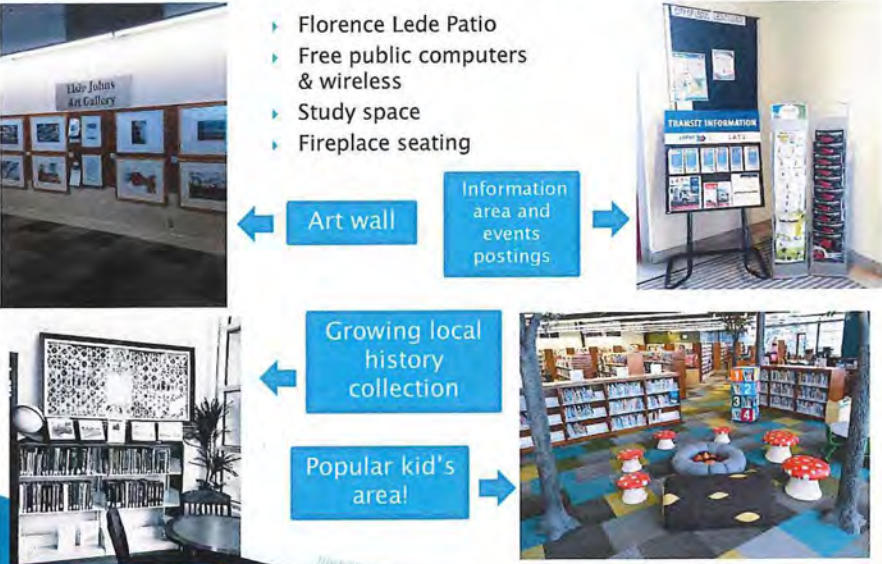
Rental Fees
Waived for
Community
Groups

of Bookings - Community
Groups & Businesses

2018 Total:
586 Room
Bookings
3,722 in
Attendance



A Great Community Space!



- ▶ Florence Lede Patio
- ▶ Free public computers & wireless
- ▶ Study space
- ▶ Fireplace seating

Art wall

Information area and events postings

Growing local history collection

Popular kid's area!

Programs & Services New Directions

- ▶ Programs for all ages!
- ▶ Link to literacy and education
- ▶ Maker space ideas
- ▶ Homebound Services
- ▶ 1 on 1 basic computer help
- ▶ Technology
- ▶ Local History



Books For
Babies
partnership
with Leduc
Health Unit



Leduc Adult Learning

- ▶ Library Board is now funding Recipient! 3 Years approved!
- ▶ Basic Computer Training
- ▶ English Language Learning
- ▶ 1 to 1 Tutoring
- ▶ Spanish conversation
- ▶ GED Prep Help
- ▶ & More!

LEARN FOR LIFE
Leduc Adult Learning

Questions?



*Without libraries what have we?
We have no past and no future.
- Ray Bradbury*





City of Leduc 2020 - 2028 Capital by Program

	Ranking	2020	2021	2022	2023	2024	2025	2026	2027	2028
65th Ave Capital Program										
075.064 65th Avenue East (35th Street to Spine Road) - 2L #27	Mandatory	900,000	-	-	-	-	-	-	-	-
075.066 Grant MacEwan Construction (65th Ave to Bridgeport) #52	Mandatory	400,000	-	3,200,000	-	-	-	-	-	-
075.075 65th Avenue West (Discovery to Grant MacEwan) #23	Mandatory	280,000	-	2,720,000	-	-	-	-	-	-
075.050 65th Avenue West (Discovery Way to QE II) - 2L #74	Mandatory	-	3,000,000	-	-	-	-	-	-	-
075.074 65th Avenue/Discovery Traffic Signal #63	Mandatory	-	262,000	-	-	-	-	-	-	-
Total: 65th Ave Capital Program *		1,580,000	3,262,000	5,920,000	-	-	-	-	-	-
Capital Engineering										
077.290 Back-Lane Capital Program	Mandatory	1,025,000	1,050,000	1,075,000	1,100,000	1,125,000	1,150,000	1,175,000	1,200,000	1,225,000
076.316 Crystal Creek Site Servicing*	Mandatory	-	-	-	-	-	6,200,000	3,150,000	-	-
076.303 Telford Lake Multiway	Mandatory	600,000	-	-	-	-	-	-	-	-
077.485 Capital Engineering	Mandatory	306,000	312,000	318,000	324,000	330,000	336,000	342,000	348,000	354,000
076.191 Utility Liners and Spot Repairs	Mandatory	306,000	-	312,000	-	324,000	-	330,000	-	336,000
076.300 Water Master Plan Update	Mandatory	-	-	-	-	-	250,000	-	-	-
077.562 New Traffic Signal Installation	Necessary	-	290,000	-	-	-	-	-	-	-
076.180 Infrastructure Condition Assessments	Mandatory	-	178,500	-	185,500	-	193,000	-	201,000	-
104.003 Wayfinding	Desirable	150,000	-	-	-	-	-	-	-	-
080.243 Side Walk Replacement Program	Mandatory	108,800	111,200	113,600	116,100	118,700	121,400	124,142	127,000	129,540
076.568 CDC Capital Engineering	Necessary	102,000	104,000	106,000	108,000	110,000	112,000	114,000	116,000	118,000
076.295 Stormwater Master Plan	Necessary	450,000	-	-	-	-	-	-	-	-
077.527 MPMA- Data Collection	Mandatory	-	-	91,500	-	-	93,000	-	-	95,000
076.306 Windrose Multiway	Desirable	540,000	-	-	-	-	-	-	-	-
077.585 2020 Capital Road Program	Mandatory	6,060,000	-	-	-	-	-	-	-	-
076.296 48A Street (Civic Center) Utility Upgrades	Mandatory	1,700,000	-	-	-	-	-	-	-	-
080.278 Civic Centre Concrete Replacement	Mandatory	800,000	-	-	-	-	-	-	-	-
080.266 Storm Pond Refurbishment	Mandatory	560,000	-	-	-	-	-	-	-	-
076.564 Future Utility Program	Mandatory	500,000	510,000	520,000	530,000	540,000	550,000	560,000	570,000	580,000
077.560 Traffic Signal Upgrades	Mandatory	200,000	-	200,000	-	200,000	-	200,000	-	200,000
076.563 Regional Transportation Planning	Necessary	200,000	-	-	-	-	-	-	-	-
077.587 Future Roadway **	Mandatory	-	10,000,000	-	-	-	-	-	-	-
076.562 2021 Capital Road Program	Mandatory	-	6,120,000	-	-	-	-	-	-	-
076.160 Snow Storage Site (excludes land)	Necessary	-	400,000	3,700,000	-	-	-	-	-	-
076.561 Lions Park Secondary Trails	Necessary	-	400,000	-	-	-	-	-	-	-
076.305 Multiway Development	Desirable	-	350,000	465,000	-	490,000	-	405,000	-	-
076.567 Lede Park Multiway	Necessary	-	300,000	-	-	-	-	-	-	-
077.586 Future Road Program	Mandatory	-	-	6,180,000	6,240,000	6,300,000	6,360,000	6,420,000	6,480,000	6,540,000
076.570 Rugby Club Parking Lot	Desirable	-	-	-	525,000	-	-	-	-	-
077.541 Transportation Master Plan	Necessary	-	-	520,000	-	-	-	-	520,000	-
076.158 Water Distribution System Upgrades	Mandatory	-	-	-	750,000	-	-	-	-	-
076.302 Community Parks Parking Lot	Necessary	-	-	-	250,000	300,000	300,000	300,000	300,000	400,000
076.317 Sanitary Over sizing for lands outside the City (East)	Necessary	-	-	-	-	1,000,000	-	-	-	-
076.299 Sanitary Master Plan Update	Mandatory	-	-	-	-	225,000	-	-	-	-
076.566 Lions Park Lookout	Necessary	-	-	-	-	-	800,000	-	-	-
076.198 Sanitary over sizing for land outside of City limits (West)	Necessary	-	-	-	-	-	-	1,100,000	-	-
Total: Capital Engineering		13,607,800	20,125,700	13,601,100	10,128,600	11,062,700	16,465,400	14,220,142	9,862,000	9,977,540

* There is potential that this project may be accelerated

** Dependent on Grant Funding



City of Leduc 2020 - 2028 Capital by Program

	Ranking	2020	2021	2022	2023	2024	2025	2026	2027	2028
Computer Services Capital Program										
015.180 Desktop Computer Renewal (Evergreen) - Hardware	Mandatory	197,000	151,850	117,500	188,500	178,850	148,500	134,500	197,350	190,000
015.291 Email Upgrade	Mandatory	-	-	-	35,000	-	-	-	40,000	-
015.286 Server Renewal (Evergreen) - Software	Mandatory	9,000	9,000	9,000	9,000	9,000	9,000	9,000	9,000	9,000
015.186 Server Renewal (Evergreen) - Hardware	Mandatory	26,000	26,000	26,000	26,000	26,000	26,000	26,000	26,000	26,000
015.289 Firewall Upgrade (Evergreen)	Mandatory	-	-	-	30,000	-	-	-	35,000	-
015.160 Network Renewal (Evergreen)	Mandatory	20,000	25,000	25,000	25,000	25,000	25,000	30,000	30,000	30,000
015.280 Desktop Computer Renewal (Evergreen) - Software	Mandatory	13,800	8,800	8,800	14,000	12,200	10,200	8,800	13,600	13,800
015.290 Paperless Council	Mandatory	-	21,000	-	-	-	21,000	-	-	-
Total: Computer Services Capital Program		265,800	241,650	186,300	327,500	251,050	239,700	208,300	350,950	268,800
eGovernment Strategies										
092.240 Integrated Enterprise Finance & HR System	Mandatory	605,000	25,000	55,000	25,000	25,000	55,000	25,000	25,000	55,000
092.360 IT Governance	Mandatory	175,000	175,000	175,000	50,000	50,000	50,000	50,000	50,000	50,000
092.355 Content Management Software	Desirable	100,000	50,000	-	-	-	-	-	75,000	100,000
092.377 OH&S Software	Necessary	40,000	40,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000
092.368 Asset Management	Necessary	75,000	170,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000
092.373 Planning Software	Necessary	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000
092.375 Community Reporting	Necessary	75,000	-	10,000	-	10,000	-	10,000	-	10,000
092.376 EDRMS (Electronic Document Records Management System)	Necessary	-	300,000	-	-	-	-	-	-	-
092.374 LRC Cell Phone Coverage Upgrade	Mandatory	-	200,000	-	-	-	-	-	-	-
Total: eGovernment Strategies		1,080,000	970,000	310,000	145,000	155,000	175,000	155,000	220,000	285,000
Environmental Services Capital Program										
078.054 Annual Cart Purchases	Necessary	36,000	73,000	37,000	76,000	39,000	79,000	40,000	82,000	41,000
078.042 First Level Environmental Audit	Necessary	-	-	16,000	-	-	34,000	-	-	-
078.050 Environmental Plan Initiatives	Necessary	-	12,000	-	12,000	-	12,000	-	12,000	-
078.048 Environmental Sustainability Plan	Desirable	-	70,000	-	-	-	-	-	-	-
Total: Environmental Services Capital Program		36,000	155,000	53,000	88,000	39,000	125,000	40,000	94,000	41,000
Equipment Services Capital Program										
083.167 Fire Engines	Mandatory	-	-	900,000	-	-	-	1,500,000	-	-
083.215 Joint Venture Transit Busses	Mandatory	-	-	-	100,000	1,100,000	100,000	100,000	-	-
083.135 Grader	Mandatory	-	-	554,000	-	-	-	-	-	-
083.178 Tandem	Mandatory	-	-	255,000	255,000	-	-	255,000	-	-
083.174 Pickup Trucks for Public Services *	Mandatory	-	103,000	135,000	45,000	-	-	-	90,000	-
083.165 1993 Kubota Tractor	Mandatory	-	-	-	-	-	-	-	-	120,000
083.159 Turf Mower	Mandatory	-	-	-	-	-	111,000	-	-	-
083.129 2013 Protective Services Vehicle	Mandatory	160,000	-	-	80,000	-	-	-	-	-
083.173 Skid Steer	Necessary	-	-	-	-	-	-	95,000	-	-
083.125 4 X 4 Fire Unit	Necessary	-	62,000	-	62,000	187,000	-	-	-	-
083.138 Half-ton for Facilities Technician	Mandatory	-	-	-	-	145,000	-	-	-	-
083.142 Mule	Mandatory	-	60,000	36,000	-	48,000	-	-	36,000	18,000
083.220 Specialized Parks Vehicle (Mini Truck)	Necessary	-	-	-	-	-	-	-	-	15,000
083.140 Loader 938G	Mandatory	357,600	-	-	-	357,600	-	-	-	-
083.168 Fire Ambulance unit 252	Mandatory	271,000	542,000	-	-	-	-	-	-	-
083.170 Special Transportation	Mandatory	200,000	200,000	-	400,000	-	-	200,000	-	-
083.231 Draft Commander (New addition)	Mandatory	-	130,000	-	-	-	-	-	-	-
083.143 Olympia	Mandatory	120,000	-	-	-	125,000	-	130,000	-	-



City of Leduc 2020 - 2028 Capital by Program

	Ranking	2020	2021	2022	2023	2024	2025	2026	2027	2028
083.141 Mower	Mandatory	95,000	-	120,000	-	-	-	-	-	-
083.169 Fire ATP - Unit 353	Mandatory	90,000	-	-	-	-	-	-	-	-
083.175 One Tons for Public Services	Mandatory	70,000	-	-	-	86,000	188,000	-	-	-
083.145 Planning Truck	Mandatory	42,500	-	40,000	35,000	-	84,400	77,000	42,500	-
083.158 Top Dresser	Mandatory	30,000	-	-	-	-	-	-	-	-
083.134 Graco Line Painter Unit 409	Mandatory	25,000	-	-	-	-	-	-	-	-
083.122 Speed Plow	Mandatory	10,000	-	-	-	-	-	-	-	-
083.176 Bucket Truck	Mandatory	-	300,000	-	-	-	-	-	-	-
083.192 Toro 4000D Mower	Mandatory	-	285,000	-	-	-	-	-	-	-
083.123 2012 Gravel Truck - Unit 409	Mandatory	-	210,000	-	-	-	-	-	-	-
083.209 Water Commission Vehicles	Mandatory	-	125,000	-	-	-	-	-	-	-
083.191 Tore 580 Mower	Mandatory	-	120,000	-	-	-	-	-	-	-
083.184 Multipurpose Utility Vehicle	Mandatory	-	90,000	-	-	-	-	-	-	-
083.193 Small Detail Mower	Mandatory	-	40,000	-	-	-	-	-	-	-
083.221 Lake Weed Harvester Replacement	Mandatory	-	-	500,000	-	-	-	-	-	-
083.202 Parade Float Chassis	Mandatory	-	-	20,000	-	-	-	-	-	-
083.154 Snow Blower	Mandatory	-	-	-	150,000	-	-	-	150,000	-
083.200 One-Ton Truck With Plow & Slip-In Sander	Mandatory	-	-	-	85,000	-	-	-	-	-
083.187 Truck for Facilities Dept	Mandatory	-	-	-	50,200	-	-	-	-	-
083.126 Aerator	Mandatory	-	-	-	31,000	-	-	-	-	-
083.206 Fleet Services Service Truck	Mandatory	-	-	-	-	150,000	-	-	-	-
083.199 Asphalt Hot Box Trailer	Mandatory	-	-	-	-	74,000	-	-	-	-
083.128 Backhoe/Loader	Mandatory	-	-	-	-	-	165,000	-	-	-
083.208 Ice Breaker Attachment	Necessary	-	-	-	-	-	-	60,000	-	-
083.212 Utility Roller	Necessary	-	-	-	-	-	-	50,000	-	-
083.211 Turf Vac Sweep	Necessary	-	-	-	-	-	-	41,000	-	-
083.213 Heavy Duty Truck & Box	Mandatory	-	-	-	-	-	-	-	86,000	-
083.177 Vehicle for Refrig Controls Tech	Mandatory	-	-	-	-	-	-	-	52,000	-
083.225 3/4 Ton Truck	Mandatory	-	-	-	-	-	-	-	-	52,500
083.227 Truck - Operator Infrastructure Maintenance	Mandatory	-	-	-	-	-	-	-	-	52,500
Total: Equipment Services Capital Program		1,471,100	2,267,000	2,560,000	1,293,200	2,272,600	648,400	2,508,000	456,500	258,000
<i>* Project expenditures include the purchase of one 2-ton service body truck and two general pick-up trucks</i>										

Facilities - Major Facilities

087.173 Partnership Opportunities	Desirable	-	7,900,000	-	-	-	-	-	-	-
087.161 North Fire Hall*	Mandatory	-	-	TBD - \$8.0M			-	-	-	-
087.151 City of Leduc Facilities Master Plan	Necessary	-	-	-	150,000	-	-	-	-	150,000
087.162 West Public Works Satellite Shop (no land cost included)	Necessary	-	-	-	-	-	-	152,000	1,117,000	-
087.164 West Campus Twin Arenas	Necessary	-	-	-	-	-	-	2,167,000	15,893,000	-
087.166 Twin field houses West Campus**	Necessary	-	-	-	-	-	-	2,880,000	21,120,000	-
087.172 Community Hub (Alexandra Arena re-purpose)	Necessary	-	-	-	-	-	-	-	-	12,537,000
087.165 Park and Ride location west campus	Necessary	-	-	-	-	-	-	225,000	1,500,000	-
Total: Facilities - Major Facilities		-	7,900,000	-	150,000	-	-	5,424,000	39,630,000	12,687,000

** Actively pursuing partnership opportunities*

*** This project could be accelerated as there is a potential to partner with BGRSD*

It is important to recognize there are projects in years 2029 - 2033 that total \$23.0M as a part of the Facilities Master Plan.



City of Leduc 2020 - 2028 Capital by Program

	Ranking	2020	2021	2022	2023	2024	2025	2026	2027	2028
Facility Restorations and Improvements										
086.267 Protective Services Building Capital Renewal	Mandatory	-	-	-	-	20,173	-	-	257,243	-
086.266 LRC Capital Renewal Project	Mandatory	426,441	-	-	249,448	44,381	-	440,619	140,000	-
092.371 Digital Sign Replacement	Mandatory	125,000	-	-	-	-	-	-	-	-
086.274 LRC Pool Old Mechanical Room Renovations PHII	Mandatory	30,548	-	-	38,989	1,063,774	310,805	-	-	32,718
087.145 Capital Equipment Renewal LRC	Mandatory	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000
086.304 Building Security Enhancements	Mandatory	50,000	-	50,000	-	50,000	-	50,000	-	50,000
086.263 Alexandra Arena Capital Renewal*	Mandatory	731,800	-	-	-	-	-	14,528	48,250	-
086.261 Telford House Facility Rehabilitation	Mandatory	15,000	-	-	-	43,000	-	-	26,496	-
086.262 Civic Centre Capital Renewal	Mandatory	-	-	12,801	-	33,622	-	-	-	-
102.061 Lede Park (Concession, Washroom, Shelter)**	Desirable	50,000	400,000	-	-	-	-	-	-	-
086.275 LRC Second Level Program Expansion	Desirable	-	485,000	3,553,000	-	-	-	-	-	-
086.311 Reconfigure lease space to Office*	Necessary	-	250,000	-	-	-	-	-	-	-
086.309 OPS staff Parking	Necessary	-	-	600,000	-	-	-	-	-	-
086.310 OPS office space reconfiguration	Necessary	-	-	112,000	818,000	-	-	-	-	-
086.255 Civic Centre Building Renovations	Necessary	-	-	-	-	-	-	788,000	5,775,000	-
086.295 Stageworks Capital renewals	Mandatory	-	-	-	-	-	-	-	25,839	-
Total: Facility Restorations and Improvements		1,478,789	1,185,000	4,377,801	1,156,437	1,304,950	360,805	1,343,147	6,322,828	132,718
* Subject to future decisions of long term facilities master plan										
** Design and construction is tentative and will be refined with further scoping										
FCSS Capital Program										
085.005 Social Needs Assessment		60,000	-	-	-	-	65,000	-	-	-
Total: FCSS Capital Program		60,000	-	-	-	-	65,000	-	-	-
Protective Services Capital Program										
095.024 Enforcement Services Equipment	Mandatory	-	-	60,000	-	-	20,000	40,000	-	25,000
089.185 Thermal Imaging Camera Upgrade	Mandatory	-	-	-	15,000	-	-	-	-	-
089.187 Self Contained Breathing Apparatus (SCBA) Replacement	Mandatory	390,000	-	-	-	-	-	-	-	-
089.100 Rescue Equipment	Mandatory	-	45,000	-	-	-	-	-	-	-
089.205 Ladder Truck (75 Foot)	Mandatory	-	-	900,000	-	-	-	-	-	-
089.204 Outfitting of Ladder Truck (75 foot)	Mandatory	-	-	70,000	-	-	-	-	-	-
089.188 Wildland Skid Unit	Mandatory	-	-	25,000	-	-	-	-	-	-
Total: Protective Services Capital Program		390,000	45,000	1,055,000	15,000	-	20,000	40,000	-	25,000
GIS										
104.002 LiDAR Data Collection Project	Necessary	-	-	-	-	45,000	-	-	-	-
104.001 Aerial Data	Mandatory	37,000	24,000	44,000	20,000	40,000	24,000	44,000	24,000	40,000
Total: GIS		37,000	24,000	44,000	20,000	85,000	24,000	44,000	24,000	40,000
Intergovernmental Affairs										
092.361 Business Management Software	Necessary	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000
Total: Intergovernmental Affairs		10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000
MacLab Centre										
086.307 MacLab Centre for the Performing Arts	Mandatory	25,000	-	-	-	-	-	-	-	-
106.580 MacLab Centre Equipment Replacement Plan	Necessary	-	25,500	78,290	30,125	-	50,100	50,100	-	-
Total: MacLab Centre		25,000	25,500	78,290	30,125	-	50,100	50,100	-	-



City of Leduc 2020 - 2028 Capital by Program

	Ranking	2020	2021	2022	2023	2024	2025	2026	2027	2028
Office Equipment Replacement Program										
091.040 Furniture/Workstation Replacement	Mandatory	20,000	20,000	20,000	20,000	20,000	20,000	20,000	20,000	20,000
091.150 Equipment Replacement - other	Mandatory	30,000	-	30,000	-	30,000	-	30,000	-	-
Total: Office Equipment Replacement Program		50,000	20,000	50,000	20,000	50,000	20,000	50,000	20,000	20,000
Offsite Levies										
075.058 Southeast Boundary Road (Hwy 2A to Coady Blvd.) - #43	Mandatory	-	-	-	-	-	-	2,400,000	-	-
075.056 Spine Road (Allard Avenue to 65th Avenue East) - 2L #64	Mandatory	2,400,000	-	-	-	-	-	-	-	-
075.067 Grant MacEwan South (50th Ave to Black Gold Drive) 2L-4L - #75	Mandatory	-	-	1,400,000	-	-	-	-	-	-
075.072 74th Street (50th Ave to Woodbend) - #10	Mandatory	-	1,430,000	-	-	-	-	-	-	-
075.086 50 Street turn bay - #87	Necessary	-	-	150,000	-	-	-	-	-	-
075.083 Water Distribution Main across HWY2 for 65th Ave development - W1	Mandatory	-	-	-	2,600,000	-	-	-	-	-
075.045 Coady Boulevard (Meadowview Blvd to SE Boundary Road) #55	Mandatory	-	-	-	1,500,000	-	-	1,500,000	-	-
075.071 74th Street (50th Avenue to Crystal Creek) - #12	Mandatory	-	-	-	1,430,000	-	-	-	-	-
075.073 Traffic Signal - Spine Road and Airport Road - #65	Mandatory	-	-	-	165,000	-	-	-	-	-
075.081 East Industrial Lift Station and Force Main - S10	Mandatory	-	-	-	-	9,000,000	-	-	-	-
075.077 Spine Road - 65th Avenue East to Lakeside Industrial - #70	Mandatory	-	-	-	-	2,800,000	-	-	-	-
075.054 50th Avenue (Deer Valley Drive to west of Fire Hall access) - #19	Mandatory	-	-	-	-	-	525,000	-	-	-
075.053 NW Reservoir and Pump Station - W8	Mandatory	-	-	-	-	-	-	-	16,000,000	-
075.085 45th/43rd Street (175m North of 70th Ave to 82nd Ave) - #47	Necessary	-	-	-	-	-	-	-	6,400,000	-
075.087 HWY2 Water fill line crossing for 65th Ave reservoir - W9	Mandatory	-	-	-	-	-	-	-	1,350,000	-
075.080 Corinthia Sanitary Storage - S3	Mandatory	-	-	-	-	-	-	-	683,000	-
075.088 Traffic Signals - 74th Street and 50th Ave - #25	Necessary	-	-	-	-	-	-	-	-	262,000
075.089 Traffic Signal - 65 Ave/ Spine Road - #69	Necessary	-	-	-	-	-	-	-	-	262,000
075.090 Traffic Signal - Grant MacEwan and 65 Ave - #73	Mandatory	-	-	-	-	-	-	-	-	262,000
Total: Offsite Levies *		2,400,000	1,430,000	1,550,000	5,695,000	11,800,000	525,000	3,900,000	24,433,000	786,000
<i>* The development agreement must be substantially completed prior to initiation of any offsite levy project</i>										
Parks Development Capital - Growth Related Projects										
102.044 Public Art Project	Necessary	33,000	33,500	3,500	33,500	3,500	4,000	34,000	4,000	-
102.008 Community Sign Replacement	Mandatory	30,000	30,000	10,000	30,000	10,000	30,000	10,000	30,000	30,000
102.012 Streetscape Development	Desirable	30,000	15,000	30,000	15,000	30,000	15,000	30,000	15,000	30,000
102.027 Lede Park Improvements	Desirable	455,000	260,000	255,000	260,000	55,000	460,000	255,000	55,000	55,000
102.045 Outdoor Rinks	Desirable	-	35,000	535,000	10,000	-	10,000	-	10,000	-
102.002 Alexandra Park Redevelopment	Desirable	-	10,000	-	10,000	-	10,000	-	10,000	-
102.038 Fred Johns Park	Desirable	-	10,000	-	10,000	-	85,000	-	10,000	-
102.050 Leduc Lions Park	Necessary	340,000	25,000	50,000	564,000	310,000	175,000	96,000	-	10,000
102.041 Lions Club Outdoor Rink	Mandatory	40,000	-	-	-	20,000	-	-	-	-
102.049 Telford Lake Rowing Facilities	Necessary	40,000	-	-	-	-	-	-	-	-
102.019 Cultural Village	Desirable	25,000	-	20,000	-	25,000	-	20,000	-	-
102.024 John Bole Field Facility	Mandatory	10,000	-	10,000	-	50,000	-	10,000	-	40,000
102.048 West Campus High School Sports Fields	Necessary	-	-	25,000	350,000	350,000	250,000	250,000	-	-
Total: Parks Development Capital - Growth Related Projects		1,003,000	418,500	938,500	1,282,500	853,500	1,039,000	705,000	134,000	165,000
Parks Development Capital - Sustainability Projects										
103.013 Simpson Park	Necessary	12,000	-	-	-	-	-	-	-	-
103.003 Playground Equipment	Mandatory	250,000	250,000	250,000	250,000	250,000	250,000	50,000	50,000	50,000
103.005 Park Enhancement Program	Mandatory	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000
Total: Parks Development Capital - Sustainability Projects		287,000	275,000	275,000	275,000	275,000	275,000	75,000	75,000	75,000



City of Leduc 2020 - 2028 Capital by Program

	Ranking	2020	2021	2022	2023	2024	2025	2026	2027	2028
Wastewater Capital Program										
082.030 Infiltration Reduction Program	Mandatory	50,000	51,000	52,020	53,060	54,122	55,204	56,308	57,434	58,583
082.040 Service Connection Repair	Mandatory	160,000	-	160,000	-	160,000	-	160,000	-	160,000
082.044 New Sanitary Lateral Augers	Mandatory	30,000	-	-	-	-	30,000	-	-	-
082.010 Wastewater Mainline Upgrading/Repair	Mandatory	-	-	-	-	-	-	-	34,461	-
082.042 Lift Station Upgrades	Mandatory	-	-	-	-	-	-	-	-	220,000
Total: Wastewater Capital Program		240,000	51,000	212,020	53,060	214,122	85,204	216,308	91,895	438,583
Water Department Capital Program										
081.083 Water Meter Annual Purchases	Necessary	264,400	272,400	280,500	289,000	297,600	306,500	315,700	325,200	331,700
081.093 Mainline Valve Replacement	Mandatory	122,000	180,000	110,282	112,485	114,737	117,033	119,373	121,761	124,196
081.070 Distribution System Upgrades-Contract Services/Equipment	Mandatory	60,000	65,000	70,000	75,000	80,000	85,000	90,000	95,000	100,000
081.097 SCADA Communication System Replacement	Mandatory	420,000	-	-	-	-	-	-	-	-
081.094 Leak Detection Software Module	Desirable	-	-	-	-	75,000	-	-	-	-
081.080 Reservoir Improvements	Mandatory	-	-	-	-	-	-	-	-	135,000
Total: Water Department Capital Program		866,400	517,400	460,782	476,485	567,337	508,533	525,073	541,961	690,896
Total Expense		26,842,549	40,072,136	34,995,408	25,125,377	33,189,854	22,836,263	31,655,729	82,857,007	26,623,587
Debenture Funded		-	17,900,000	-	-	-	-	-	-	-
Unfunded		230,000	575,000	4,225,000	650,000	3,000,000	2,300,000	7,487,000	43,905,000	12,537,000

Note: All projects costs after 2020 could have a range of +/- 20% as a result of detailed design not being completed. These are high level estimates only.

Animal Licencing and Control Bylaw

February 25, 2019 Council
Report 2019-CR-13



Animal Licencing and Control Bylaw

- Presentation at Committee on February 12, 2018 regarding amendments to Animal Licencing and Control Bylaw
- Initial recommendations included:
 - Clarification on number of permitted dogs/cats at residence
 - Including lesser offence for dog attacks
 - Adding offence for cat attacks and cat defecation

Animal Licencing and Control Bylaw

- Survey held in July 2018 for 17 days
- 1268 responses
- Survey results presented to Committee on December 3rd, 2018. Administration advised to work with LEAB on provisions to allow pilot project on urban bees and hens.

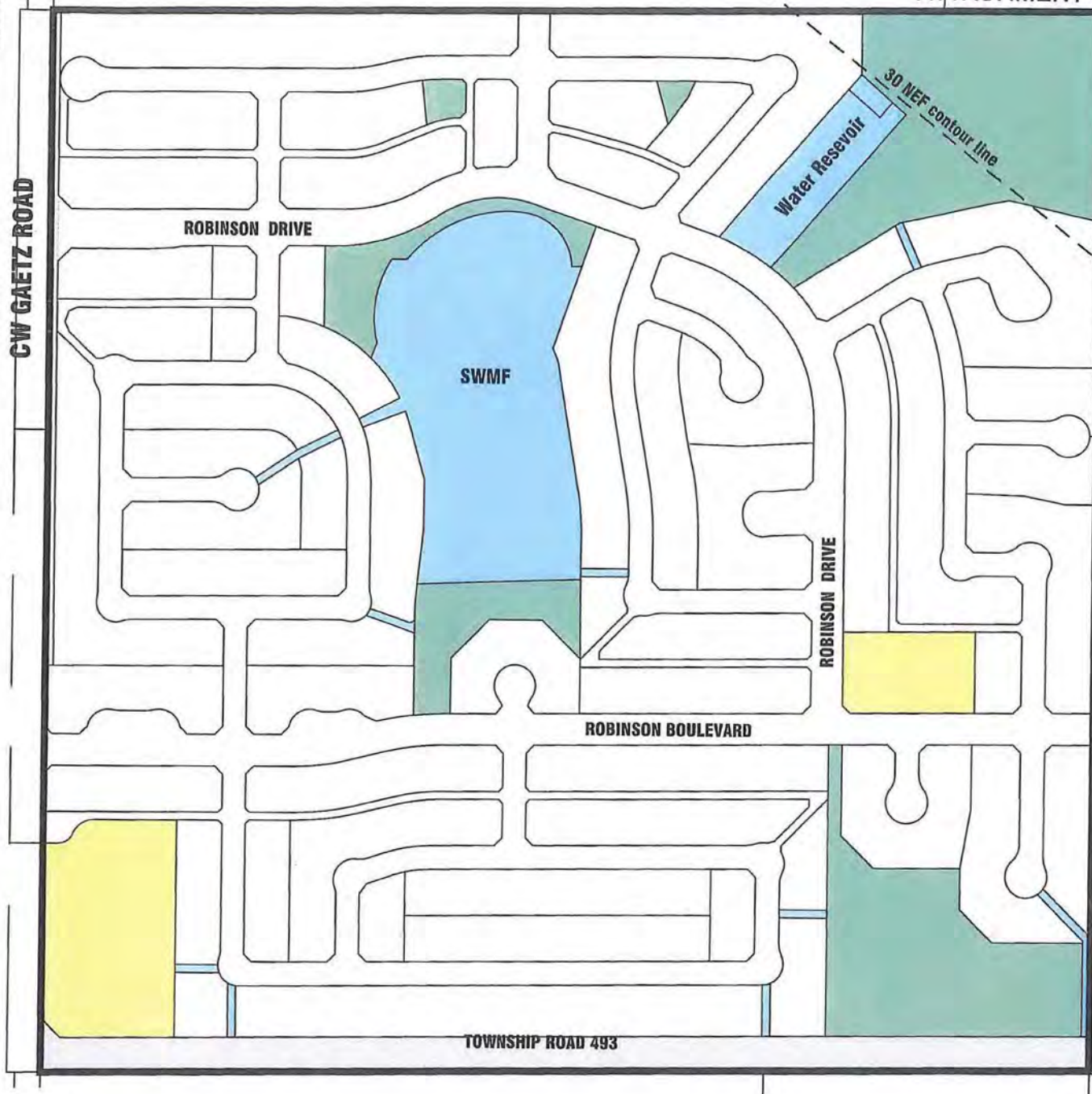
Animal Licencing and Control Bylaw

Summary of Amendments to Animal Licencing and Control






1. Addition of 'venomous' to definition
2. Provision to cover Cat attack
3. Provision to allow pilot project for urban hens and bees
4. Added clarity on the use of a business licence to have more than limit at residence.
5. Measured approach to fines for animal attacks

Animal Licencing and Control Bylaw Survey Results

End of Presentation



Legend

-  Low Density Residential
 Medium Density Residential
 Park
 Public Utility Lot
 Road Dedication

**ROBINSON**

Area Structure Plan Amendment

EXHIBIT 2 | LAND USE

DATE: January 24, 2019
DESIGNED BY: GS
DRAWN BY: GS
CHECKED BY: CCB
SCALE: NTS
JOB NUMBER: 117577

RECOGNITION ITEMS

There were no Recognition Items.

PUBLIC COMMENTARY

NOTICE OF PUBLIC HEARING

AMENDMENT TO AN AREA STRUCTURE PLAN SW ¼ SECTION 19-49-24-W4 (ROBINSON AREA STRUCTURE PLAN)

Under the Municipal Government Act, the City of Leduc may, by bylaw, adopt or amend an area structure plan for the purpose of providing a framework for subsequent subdivision and development of an area. The proposed bylaw adopting or amending an area structure plan must be published to allow citizens an opportunity to clarify what is proposed, ask questions, or present objections at a required public hearing held prior to Council approving the area structure plan.

BYLAW NO. 1021-2019

This proposed amendment to the Robinson ASP seeks redistribute land uses and reconfigure the road network to continue to allow orderly and efficient development and transportation patterns while better reflecting market demand. Bylaw 1021-2019 proposes the following amendments:

- Extend the east/west collector road west of Robinson Drive and remove the south portion of Robinson Drive that connects to Township Road 493;
- Redistribute the medium density residential sites; and
- Reconfigure the park site in the southwest portion of the plan area.

These changes are focused in the southern portion of the plan area which, and this point in time, remains undeveloped. In conjunction with this proposed change in land use, the developer is also updating the statistics for the plan. The changes are intended to more closely reflect the density of development seen in the community to-date.

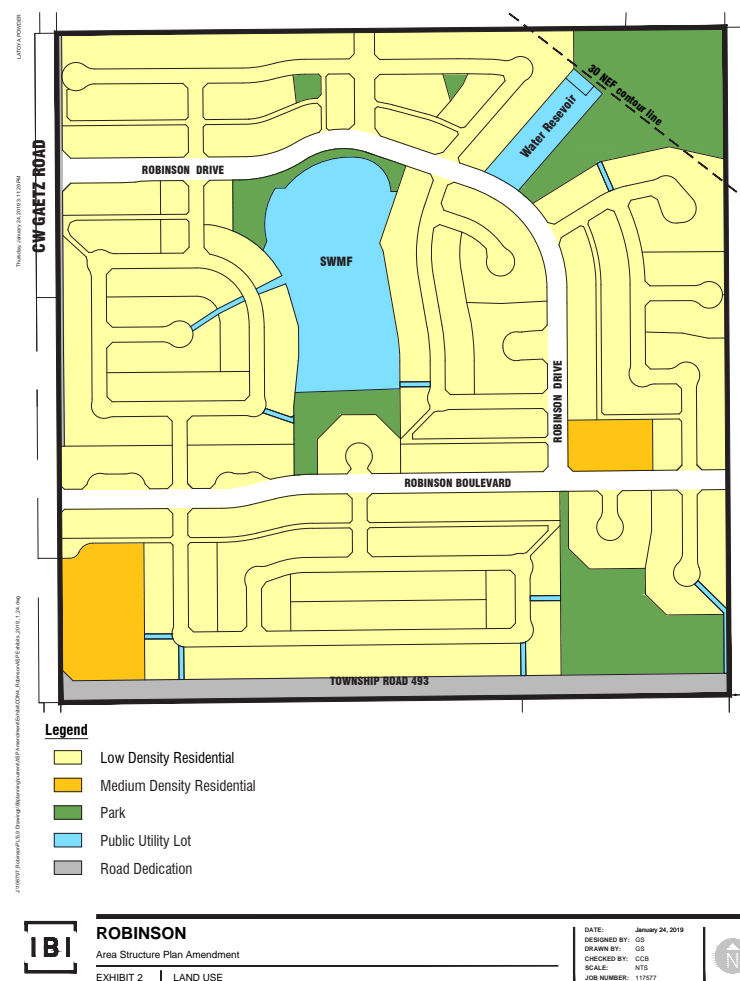
A copy of the proposed bylaw to be presented to City Council may be inspected by the public between the hours of 8:30 a.m. and 12:00 noon and 1:00 p.m. and 4:30 p.m. Monday through Friday at the Office of the City Clerk or at the Planning and Development Department, City Hall, Leduc Civic Centre, 1 Alexandra Park, 46th Avenue and 48A Street, Leduc, Alberta. Inquiries respecting the proposed bylaw or area structure plan may be made by contacting April Renneberg at the Planning and Development Department at (780) 980-8439.

PUBLIC HEARING – MARCH 11, 2018

At its meeting on Monday, March 11, 2019 at 7:00 p.m. or as soon thereafter as may be convenient, in the Council Chambers, City Hall, Leduc Civic Centre, 1 Alexandra Park, 46th Avenue and 48A Street, Leduc, City Council will hold a public hearing on the proposed Bylaw. All interested persons may be heard by Council prior to the proposed bylaw being considered for second reading.

Any person who wishes to speak to City Council at the time of the public hearing is requested to advise the City Clerk's Office, at 780-980-7177 before 12:00 noon, Monday, March 11, 2019. They may also be heard by responding to the Mayor's call for delegations at the time of the public hearing. Written submissions must be submitted to the City Clerk's Office, City Hall, before 12:00 noon, Friday, March 8, 2019.

This notice is being advertised in the February 22 and March 1, 2019 issues of this newspaper.



AMENDMENT TO ROBINSON AREA STRUCTURE PLAN, BYLAW NO. 572-2004

The *Municipal Government Act*, R.S.A. 2000, Chapter M-26, as amended (the "Act") grants a municipality the authority to adopt by Bylaw an Area Structure Plan for the purpose of providing a framework for subsequent subdivision and development of an area of land in a municipality;

AND: Bylaw No. 572-2004 adopts the Robinson Area Structure Plan, passed by Council on July 26, 2004 and amended by Bylaw No. 822-2013;

AND: Council has deemed it expedient and necessary to further amend Bylaw No. 572-2004;

AND: notice of intention to pass this bylaw has been given and a public hearing has been held in accordance with the Act;

THEREFORE: the Council of the City of Leduc in the Province of Alberta duly assembled hereby enacts as follows:

PART III: APPLICATION

1. THAT: Schedule "A" of Bylaw No. 572-2004, the Robinson Area Structure Plan, be amended in accordance with the attached **Schedule "A"**.

PART III: ENACTMENT

2. This Bylaw shall come into force and effect when it receives Third Reading and is duly signed.

READ A FIRST TIME IN COUNCIL THIS _____ OF _____, AD 2019.

READ A SECOND TIME IN COUNCIL THIS _____ DAY OF _____, AD 2019.

READ A THIRD TIME IN COUNCIL AND FINALLY PASSED THIS _____ DAY OF _____, AD 2019.

Robert Young
MAYOR

Sandra Davis
CITY CLERK

Date Signed

City of Leduc

Robinson Area Structure Plan Amendment



Prepared for Beaverbrook Leduc Ltd.
by IBI Group
November 2018

Table of Contents

1	Introduction	1
1.1	Proposed Amendment Summary	1
1.2	Plan Purpose	1
1.3	Plan Location	1
2	Plan Context	2
2.1	City of Leduc Municipal Development Plan	2
2.1.1	Residential Development	2
2.1.2	Housing	2
2.1.3	Recreation & Open Space	3
2.2	Site Features	3
3	Land Use Concept	4
3.1	Neighbourhood Design Rationale	4
3.2	Residential	4
3.2.1	Low Density Residential	4
3.2.2	Medium Density Residential	5
3.2.3	Residential Density	5
3.3	Parks & Open Space	5
3.4	Schools & Student Generation	6
4	Transportation & Utilities	7
4.1	Transportation Network	7
4.2	Servicing Infrastructure	7
4.2.1	Stormwater Management	7
4.2.2	Water Service	7
4.2.3	Sanitary Sewer	7
4.3	Development Staging	8

1 Introduction

The plan area of the Robinson Area Structure Plan (ASP) is located in the southeast corner of the City of Leduc. These lands are part of the City's expansion area annexed in 1999 to accommodate Leduc's growth in an orderly and controlled manner.

1.1 Proposed Amendment Summary

The Robinson Area Structure Plan was originally approved as Bylaw 572-2004 in 2004. In 2013, an amendment to the plan was approved to update the neighbourhood name to Robinson as Bylaw 822-2013. Development of the area is well underway with almost half of the plan area undergoing development or under completion.

This amendment is submitted on behalf of Beaverbrook Leduc Ltd. and proposes to:

- extend the east/west Robinson Boulevard collector road west of Robinson Drive and delete the south portion of Robinson Drive that connects to Township Road 493;
- re-distribute the medium residential density sites with one site relocated north of the intersection of Robinson Drive/ Robinson Boulevard and one site reconfigured at the southwest corner of the plan area along C.W. Gaetz Road; and
- reconfigure the southwest park site.

The focus of the proposed amendment is in the south sector of the plan area.

1.2 Plan Purpose

The purpose of this proposed amendment is to redistribute land uses and reconfigure the road network to allow orderly and efficient development and transportation patterns.

An ASP is a statutory document that provides guidelines for development of a specific area in order to allow for redistricting and subdivision application approval, and as such is required to be amended when significant changes are proposed.

This ASP amendment has been prepared on behalf of the registered owner of the property, Beaverbrook Leduc Ltd.

1.3 Plan Location

The plan area totals 64.61 hectares and is comprised of the southwest quarter section 19-49-24-W4. As shown on **Exhibit 1** - Local Setting, the plan area is located in the southeast corner of the City, bounded by the city boundary on the east and south. C.W. Gaetz Road exists on the western edge of the property and Rollyview Road (Highway 623) is located approximately 800 metres to the north. The developing residential neighbourhood of Meadowview Park lies to the west of C.W. Gaetz Road.

Development in the north portion of the neighbourhood is well underway and has been subdivided according to the originally approved Robinson ASP.

Exhibit 1 shows an aerial view of the plan area and context.

2 Plan Context

Statutory Context

2.1 City of Leduc Municipal Development Plan

The future direction and pattern of growth has been established by the adoption of the City's Municipal Development Plan (MDP), Bylaw No. 934-2016 as approved by City Council in August 2016. The following is an overview of applicable MDP policies.

2.1.1 Residential Development

- *“ensuring that all new residential subdivision and site plans conform to the City of Leduc Neighbourhood Design Guidelines”.*

This proposed amendment does not significantly change the approved community design that includes a central focal point consisting of a central stormwater pond and corresponding municipal reserve that provides visual interest, green space and passive recreation opportunities. This proposed amendment to the Robinson ASP has been prepared in accordance with the City of Leduc Neighbourhood Design Guidelines.

- *“protecting and creating access to adjacent neighbourhoods, natural amenities, open space, and the Multiway system”.*

The land use concept plan includes several park sites distributed throughout the plan area including a significant park site located in the northeast area, a park site in the southeast corner which corresponds to a tree stand and a central stormwater pond amenity with adjacent park sites.

2.1.2 Housing

- *“acknowledging new trends in household formation (e.g., smaller households) in the design of new residential neighbourhoods and the provision of a variety of housing types”;*
- *“requiring that all new residential Area Structure Plans provide a variety of housing types including, where appropriate, types such as single-detached, semi-detached, duplex, triplex, fourplex, townhouses, or apartment dwellings...”*

The residential land use concept contained in this amendment proposes a mix of both single family and multiple family housing forms.

- *“supporting the provision of affordable market and financially supported housing in all new neighbourhoods;”*

In the developed area of Robinson, there is a range of lot widths and types including duplex, townhouses and single-family dwellings that appeal to a diversity of lifestyles and income levels. It is anticipated that this range of choices will continue with future stages, as well as the development of various product types that meet market demand. This may include zero line lots, narrow lots and other low density lot types that particularly respond to market demand for affordable housing products.

2.1.3 Recreation & Open Space

- *“ensuring that all new residential neighbourhoods have full access to... open space, recreational facilities, and educational institutions”.*

The Robinson ASP includes a number of park sites of varying sizes as well as an extensive open space system surrounding the stormwater management facility (SWMF) and a municipal reserve lot in the southeast to provide opportunity to retain an existing tree stand. The existing built elements include a central playground, toboggan hill and outdoor community ice rink. The plan proposes to link all developed and proposed open space elements for the plan area.

This plan includes an extensive pedestrian network, connecting the central SWMF with the neighbourhood park sites through use of sidewalks and walkway connections. This local pedestrian network provides the opportunity to link to the multi-way system located across C.W. Gaetz Road as well as the parks and open spaces of Robinson. Connectivity to the southeast park site is maintained through walkway connections from residential areas, as well as from Robinson Boulevard.

Site Context

2.2 Site Features

The site conditions for the ASP area are generally unchanged. The north half of Robinson is almost fully constructed with grading and construction activities taking place for future stages. **Exhibit 1** provides an aerial view of the plan area and the surrounding lands in the summer of 2017 that shows the ongoing progress of development.

3 Land Use Concept

3.1 Neighbourhood Design Rationale

This proposed amendment proposes a change in the neighbourhood design to achieve a connected and walkable neighbourhood while enabling a more efficient road network. Walkable design has been given careful consideration in this plan through maintaining the multi-way trail along Robinson Drive with connections to the walkway system throughout the plan area, around the centrally located SWMF and the southeast park site.

The residential land uses comprise a range of housing types and forms including low density single detached homes to medium density housing. One medium density housing site is proposed to be located at the west perimeter of the plan area with direct access to the C.W. Gaetz Road thereby reducing traffic internal to the neighbourhood. The second medium density housing site located at the intersection of Robinson Drive and Robinson Boulevard is to be conveniently accessed by the collector road system.

Direct public access and views to the centrally located SWMF are maintained and provided through visual and physical connectivity from Robinson Boulevard.

The proposed Land Use Concept is illustrated in **Exhibit 2** and the associated Land Use Summary is presented in **Table 1**.

3.2 Residential

3.2.1 Low Density Residential

Residential land uses predominate the plan area and make up about eighty (80) percent of the plan's developable area.

The Robinson ASP provides the flexibility to provide a range of housing choices based on market demand. Residential Narrow Lot (RNL), Residential Shallow Lot (RSL) and Residential Standard (RSD) will be used for low density housing products. Other districts that allow this type of products may be used to enable a greater diversity of product types. This will help to create affordability for different levels of income and lifestyle choices. The LDR allows for single detached, duplex, triplex, fourplex and fee-simple townhouse development.

Direct Control (DC) Districts may be explored and advanced to enable the development of specialized low density housing products.

Table 1 shows that the proposed low density residential area totals 45.11 hectares, corresponding to a potential of 1,290 residential dwelling units, of which 17.73 hectares and 468 units have been approved and subdivided. At an estimated 2.7 persons per dwelling unit, the resulting population for the plan area is 3,481 people. This estimated number of low density housing units corresponds to 87% of the total number of proposed dwellings within the ASP.

3.2.2 Medium Density Residential

This amendment proposes relocating the two medium density residential sites as to allow better access from collector roads as well respond to market demand with respect to site size and configuration.

In total, 2.25 hectares of land are proposed for medium density housing forms which could yield approximately 191 dwelling units. The Plan proposes two medium density residential sites and a corresponding density estimate of 85 units per hectare as shown in the density calculations reported in **Table 1 - Land Use Summary**. Using an average household size of 2.2 persons, the medium density residential component of this community could generate a total of 421 people.

The medium density sites will provide opportunities to develop townhouses or apartment dwellings under the Mixed Use Neighbourhood (MUN) and Mixed Use Comprehensive (MUC) districts.

3.2.3 Residential Density

As proposed under this amendment, the total number of all types of residential units is estimated to be 1,481, which corresponds with a population projection of 3,902 persons. A plan area population density of 82.4 persons per net residential hectare could be achieved at the full build-out of this residential community.

As reflected in **Table 1 - Land Use Summary** the overall density of the plan area has been updated to state the density in the context of net residential area (Dwelling Units Per Net Residential Hectare). This results in an increase in Dwelling Units Per Net Residential Hectare (DUPNRH) to 31.3.

3.3 Parks & Open Space

In order to enhance access to, and provide more equitable availability of park space, this amendment proposes several changes to the park distribution in the ASP as shown in **Exhibit 3 - Open Space & Walkways**.

The Plan includes a number of proposed and developed park sites throughout the neighbourhood. These sites include the fully developed central SWMF feature with view point parks, totaling 1.19 hectares; a 2.96 hectare site in the northeast; a proposed 2.16 hectare parcel to retain a tree stand in the southeast corner of the neighbourhood; and two small developed sites in the north portion of the plan area totalling 0.15 hectares. Existing developed parks and built amenities include a skating rink, toboggan hill and playground to promote a sense of community.

These described park areas comprise a total of 6.46 hectares, which represents the complete 10% Municipal Reserve dedication requirement for the plan area.

A walkway system around the stormwater facility and a substantial network of multi-ways and walkway linkages throughout this neighbourhood will be provided in addition to the park land dedications. The proposed parks, open space system and network of multi-ways and walkway linkages are shown in **Exhibit 3**.

3.4 Schools & Student Generation

There are no plans to locate a school within the Robinson neighbourhood, as determined by the local School Boards. The developing Meadowview Park neighbourhood to the west includes a future school site to accommodate an elementary school and associated playing fields. The future school site is located in the south portion of Meadowview Park and therefore situated relatively close to this neighbourhood.

The following table is an update of the student generation statistics for the plan area.

Table 2 - Estimated Student Generation

	Kindergarten/ Elementary	Junior High	Senior High	Total Estimated Students
Public	472	101	53	625
Separate	254	54	29	337
Total Students (Distribution)	726 (75.4%)	155 (16.1%)	82 (8.5%)	962 (100.0%)

Student Generation Assumptions:

Black Gold School District estimates that each residential dwelling will generate 0.65 students.

The Public School System estimates the capture of 65% of students generated.

4 Transportation & Utilities

4.1 Transportation Network

The plan proposes two key changes to the roadway network:

- extension of the collector road, Robinson Boulevard from C.W. Gaetz Road to the east edge of the plan area; and
- deletion of the south portion of Robinson Drive connecting to Township Road 493.

This ASP recognizes the requirement to accommodate future roadways and/or widening of existing roads. **Exhibit 4** has been updated to reflect changes to the road network for the plan area.

The proposed changes to the roadway network will enable an efficient and economical roadway configuration that responds to future, logical land development patterns and the provision of vehicular, pedestrian and cyclist access.

Road right-of-way widths and cross sections will be designed and developed to City of Leduc's standards, recognizing the opportunity to modify the design as these standards may change in the future. C.W. Gaetz Road will be completed as a development requirement and shall be built to a major collector standard which includes both multiway and sidewalk.

4.2 Servicing Infrastructure

The Servicing **Exhibits 5, 6 and 7** have been updated to include the utility pipe sizes and preliminary local road alignments.

4.2.1 Stormwater Management

The SWMF has been fully developed in the initial stages of development in the plan area. **Exhibit 5 - Stormwater Management** shows the stormwater system proposed for the plan area in the context of the proposed plan amendment.

4.2.2 Water Service

A 250 mm watermain southeast of McKay Close in the Meadowview Park neighbourhood located to the west, has been extended to the ASP lands. A combination of this watermain and a 350 mm watermain extension from Meadowview Park are required to provide adequate fire flows for single family residential and multi-family residential developments.

Exhibit 6 - Water Service, shows the general layout of the existing and future water distribution system proposed by this ASP.

4.2.3 Sanitary Sewer

A 375 mm sanitary sewer main has been extended from southeast of McKay Close in the adjacent Meadowview Park neighbourhood south to the Plan area and services the entire neighbourhood. **Exhibit 7 – Sanitary Sewer Services** shows the proposed sanitary sewer configuration for the existing and future system.

4.3 Development Staging

As shown in **Exhibit 8**, Stages 1 through 7 have been constructed and completed. **Exhibit 8** has been updated to show the anticipated general direction and progress of development in the Robinson plan area.

The timing of the proposed development stages will respond to and be dictated by market demand.

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ROBINSON AREA STRUCTURE PLAN AMENDMENT

Table 1 - Land Use Summary

	Hectares	Acres	Percent		
Gross Developable Area	64.61	159.65	100.0%		
Arterial Road Dedication	2.09	5.16	3.2%		
Range Road 250 Widening	0.19	0.47	0.3%		
Storm Water Management, PUL	3.55	8.77	5.5%		
Municipal Water Reservoir, PUL	0.72	1.78	1.1%		
Municipal Reserve					
NE Park Site	2.96	7.31			
SE Wood Lot	2.16	5.34			
North Pond-side Park	0.54	1.33			
South Pond-side Park	0.65	1.61			
North Park	0.10	0.25			
Stage 3 Park	0.05	0.12			
Total Municipal Reserve	6.46	15.96	10.00%		
Gross Residential Area	51.60	127.51	79.9%		
Gross Residential Area	51.6				
Collector Roadways	4.24				
Net Residential Area	47.36				
Residential Summary	Hectares	Acres	Units/ ha	Units	People
<i>Existing Development (Registered Stages)</i>					
Stage 1a	3.88	9.59	31	120	324
Stage 1b	3.58	8.85	22	79	213
Stage 2	2.62	6.47	23	59	159
Stage 3	2.54	6.28	26	67	181
Stage 4	2.10	5.19	28	58	157
Stage 5	0.94	2.32	22	21	57
Stage 6	1.00	2.47	32	32	86
Stage 7	1.07	2.64	30	32	86
<i>Future Development</i>					
Single & Semi Detached (Low Density)	27.38	67.66	30	821	2218
Medium Density Residential	2.25	5.56	85	191	421
Totals	47.36	117.03		1481	3902
Proposed Densities					
Dwelling Units Per Net Residential Hectare (du/nrha)		31.3	(du/nrha)		
Population Per Net Residential Hectare (p/nha)		82.4	persons/hectare		
Proposed Housing Mix	Units	Ratio			
Low Density	1289	87.1%			
Medium Density	191	12.9%			



ROBINSON
Area Structure Plan Amendment
EXHIBIT 1 | CONTEXT

DATE: January 24, 2019
DESIGNED BY: GS
DRAWN BY: GS
CHECKED BY: CCB
SCALE: NTS
JOB NUMBER: 117577



CW GAETZ ROAD

ROBINSON DRIVE

SWMF

Water Reservoir

30 NEF contour line

ROBINSON DRIVE

ROBINSON BOULEVARD

TOWNSHIP ROAD 493

Legend

- Low Density Residential
- Medium Density Residential
- Park
- Public Utility Lot
- Road Dedication



ROBINSON

Area Structure Plan Amendment

EXHIBIT 2 | LAND USE

DATE: January 24, 2019
DESIGNED BY: GS
DRAWN BY: GS
CHECKED BY: CCB
SCALE: NTS
JOB NUMBER: 117577



CW GAETZ ROAD

ROBINSON DRIVE

TOWNSHIP ROAD 493

ROBINSON BOULEVARD

ROBINSON DRIVE

30 NEF contour line

Water Reservoir

SWMF

Legend



Park/Open Space



Storm Water Pond



Water Reservoir



Trail/Walkway Linkage



Multiway



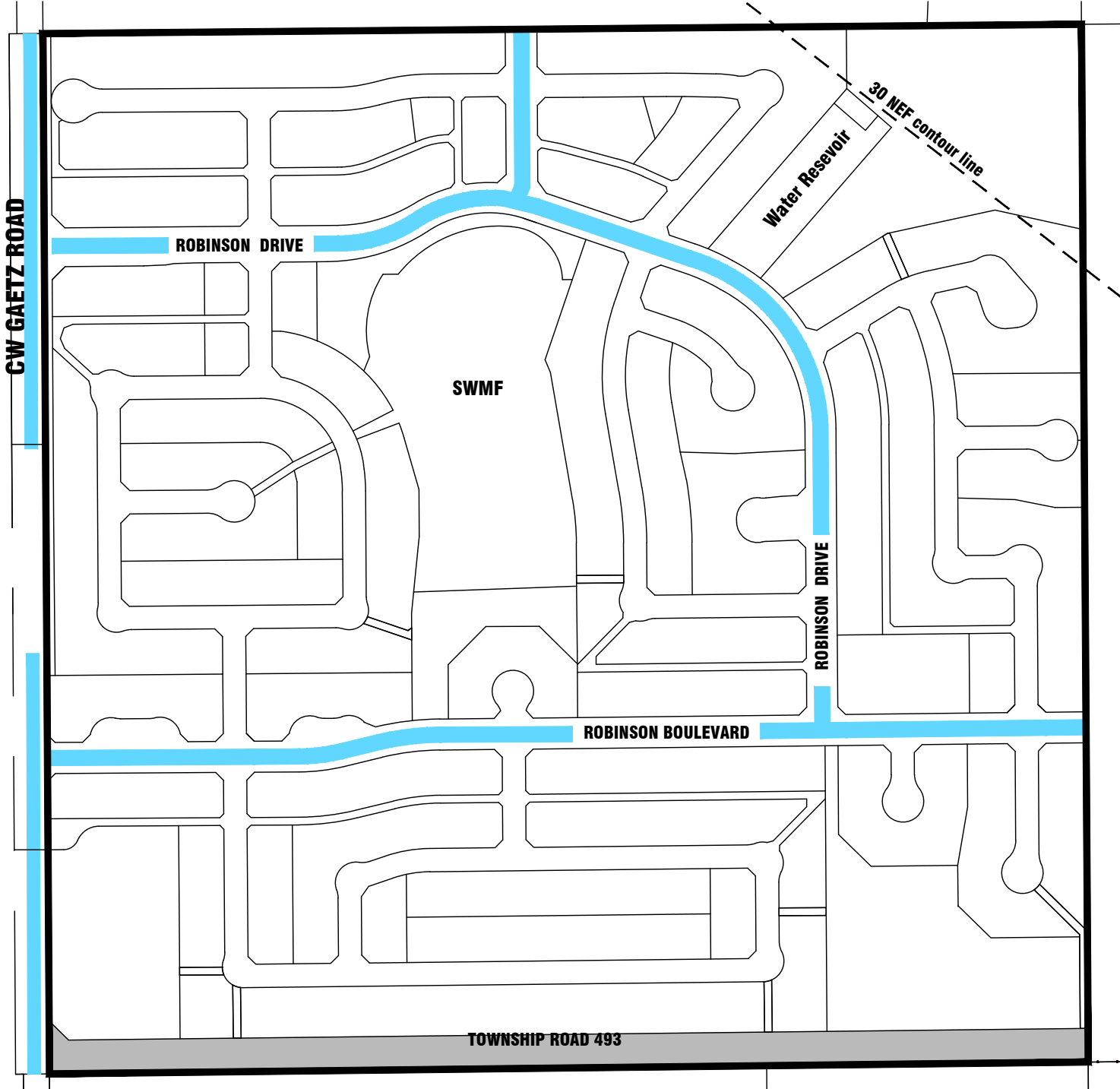
ROBINSON

Area Structure Plan Amendment



EXHIBIT 3 | OPEN SPACE AND WALKWAYS

DATE: January 24, 2019
DESIGNED BY: GS
DRAWN BY: GS
CHECKED BY: CCB
SCALE: NTS
JOB NUMBER: 117577





Legend

-  Major Collector
-  Arterial



ROBINSON

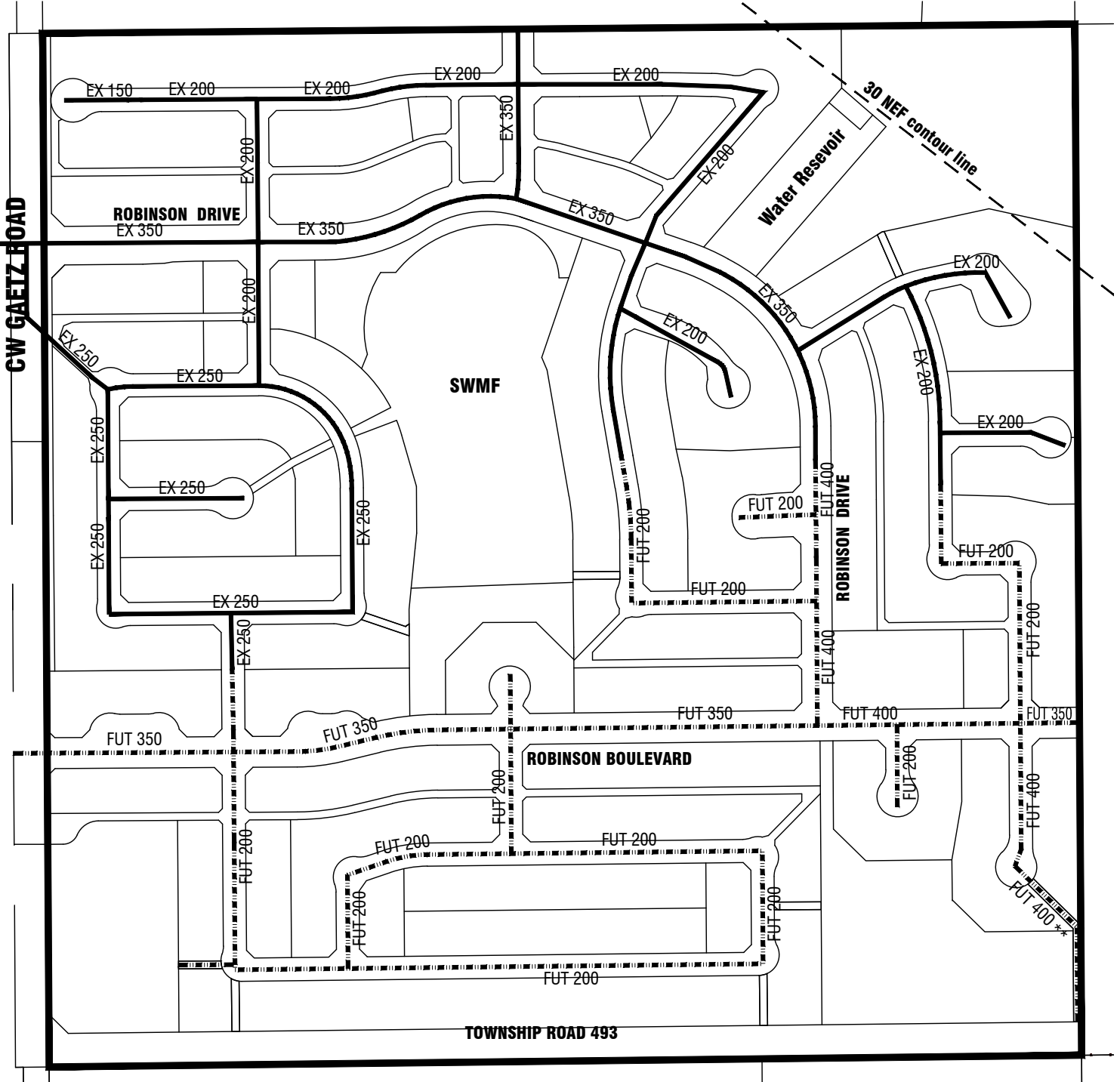
Area Structure Plan Amendment

EXHIBIT 4 | TRANSPORTATION

DATE: January 24, 2019
DESIGNED BY: GS
DRAWN BY: GS
CHECKED BY: CCB
SCALE: NTS
JOB NUMBER: 117577







Legend

- Existing Water Main
- - - Proposed Water Main

* Pipe Sizes Subject to Change As Detailed Engineering on Future Stages Advances
 ** Location of 400 WM Connection to TWP 493 subject to change with detail design.



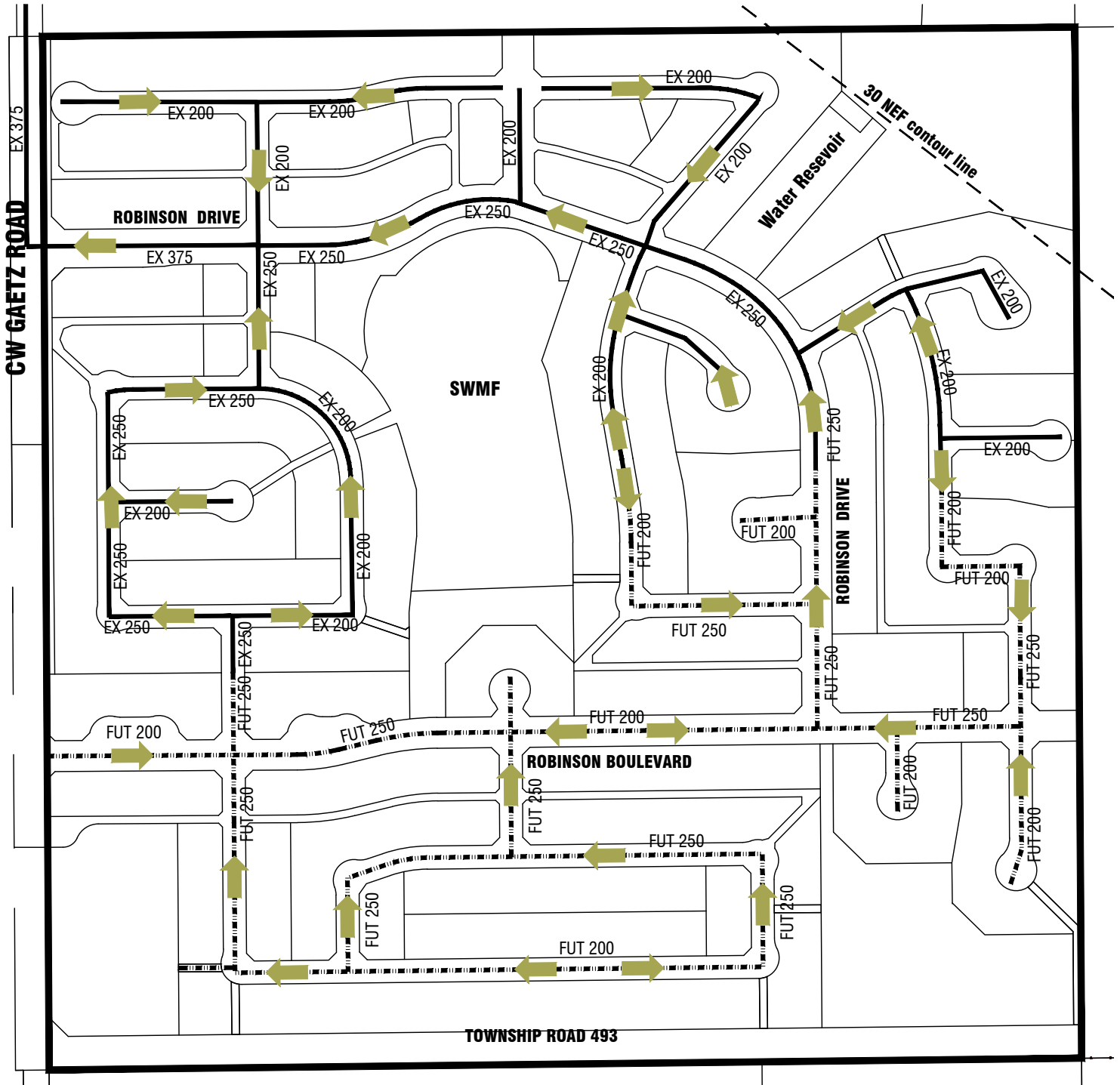
ROBINSON

Area Structure Plan Amendment




EXHIBIT 6 | WATER SERVICING

DATE: January 24, 2019
 DESIGNED BY: GS
 DRAWN BY: GS
 CHECKED BY: CCB
 SCALE: NTS
 JOB NUMBER: 117577





Legend

-  Direction of Flow
-  Existing Sanitary Sewer
-  Proposed Sanitary Sewer

* Pipe Sizes Subject to Change As Detailed Engineering on Future Stages Advances



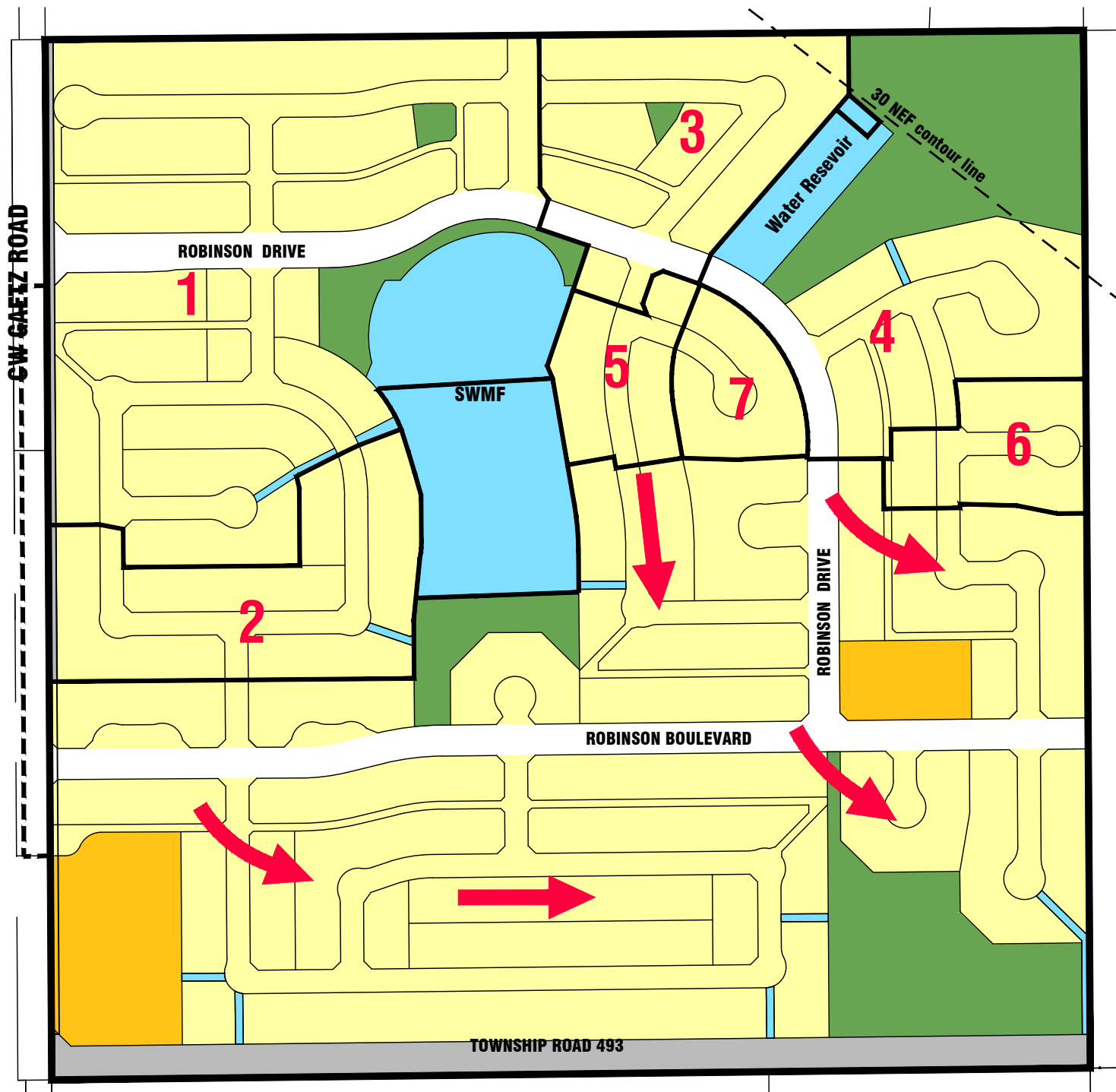
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Area Structure Plan Amendment








EXHIBIT 7 | SANITARY SEWER SERVICE

DATE: January 24, 2019
 DESIGNED BY: GS
 DRAWN BY: GS
 CHECKED BY: CCB
 SCALE: NTS
 JOB NUMBER: 117577





Legend

- | | | | |
|---|----------------------------|---|--------------------------|
|  | Low Density Residential |  | Direction of Development |
|  | Medium Density Residential |  | Existing Stages |
|  | Park | | |
|  | Public Utility Lot | | |
|  | Road Dedication | | |

* Size and Order of Staging is subject to change as Development Progresses



ROBINSON

Area Structure Plan Amendment

EXHIBIT 8 | DEVELOPMENT STAGING

DATE: January 24, 2019
 DESIGNED BY: GS
 DRAWN BY: GS
 CHECKED BY: CCB
 SCALE: NTS
 JOB NUMBER: 117577



PRESENTATIONS

There were no Presentations.

Business

Leduc Golf & Country Club – Memorandum of
Agreement

(Distributed Under Separate Cover)

MEETING DATE: March 11th, 2019

SUBMITTED BY: Jennifer Cannon, Director, Finance

PREPARED BY: Charles Thorn, Manager, Financial Analytics

REPORT TITLE: 2018 Operational and Capital Carry Forward

REPORT SUMMARY

This report contains Administration's recommendations for the 2018 operational, capital, and offsite levy carry forwards. Carry forward projects are those that can span multiple years. In these cases funds are committed in the first year while construction occurs over two or more years requiring funds to be carried forward into future years. It also includes projects that were not started due to a variety of factors, such as resource constraints, economies of scale, or economic considerations.

RECOMMENDATION

1. That Council amends the 2019 capital budget to include the 2018 capital budget carry forwards in the amount of:
 - \$32,881,485 for City capital projects;
 - \$7,369,043 for offsite levy projects;
2. That Council amends the 2019 operating budget to include the 2018 operating budget carry forwards of:
 - \$227,978

BACKGROUND

KEY ISSUE(S) / CONTEXT:

The 2018 financial year end review is complete, however, the audit is not expected to be completed until April 8th, 2019. Approval of a budget carry forward is required to facilitate the funding of multi-year projects.

PAST COUNCIL CONSIDERATION:

For Council:

At the Council meeting of December 3rd, 2018, Administration presented the 2019 budget for approval.

CITY OF LEDUC PLANS:

Facilities Master Plan; Downtown Master Plan; Transportation Master Plan; Parks, Recreation and Culture Master Plan; Water Master Plan; Sanitary Sewer Master Plan; Telford Lake Master Plan; Environmental Plan;

IMPLICATIONS OF RECOMMENDATION

GENERAL:

The carry forward amounts are made up of two components. There is an operational component, which is for operational projects that were either not started or started but not completed in 2018. The reasons for the delay in completion may be capacity pressures, timing issues, or other factors. Examples of some operational projects that require carry forwards are the launch of the strategic plan, opioid crisis and substance abuse campaigns, and marketing initiatives.

The second component of the carry forwards are the capital carry forward amounts, which are made up of City projects and offsite levy projects. It is critical to understand that the capital program includes multi-year projects and that these projects are approved in their entirety in their first year. This results in the need to carry forward these funds for the term of the project. These multi-year projects are impacted by timing and cannot be completed within our fiscal year (January 1 to December 31st) and in some cases they may take a number of years to complete. The road program is an example where there will be carry forwards. When a road project is completed the first year consists of construction but there is typically a portion of the funding retained and carried forward to address any seasonal deficiencies in the following year.

The following are some of the projects that are expected to span several years:

- Lift Station and Force Main (offsite levy project)
- North Telford Neighbourhood Renewal
- 65th Avenue Interchange Design
- Eco Station & RV Dump
- Asset Management
- Integrated Enterprise Finance & HR System

There are a number of projects that did not start in 2018. Some of the reasons that these projects may not have been started include the need to have a commitment of funding prior to the City of Leduc commencing a project, situations where developer repayment is delayed and as a result causes delays in development timelines (offsite levies), and ongoing negotiations for land. In 2018 there was schematic design work done for the RCMP Expansion project but detailed design was not completed. It is expected that phase 1 of the construction plan will begin in 2019. Due to the complexity and sensitive nature of the integrated enterprise finance and HR system Administration is proceeding with caution and has full intentions of starting this project in 2019. Some of the projects that did not start in 2018 are:

- RCMP Expansion - \$13M
- Pedestrian and Grade Crossings (5 projects) - \$1.87M
- Integrated Enterprise Finance & HR System - \$920k
- Sanitary over sizing for land outside of City limits - \$700k
- Grant MacEwan (2 offsite levy projects) - \$1.5M

In some circumstances Administration makes a strategic decision to defer a project. Some examples of projects that were deferred and have been or will be budgeted in later years are:

- 48A Street (Civic Centre) Utility Upgrades (To be re-budgeted in the future)
- Windrose Multiway (Re-budgeted in 2019-2020)
- Leduc Fellowship Parking Lot (To be re-budgeted in the future)

Proposed Offsite Levy Project Carry Forward

The table below lists the offsite levy projects, which are developer funded projects, requiring carry forward funding into 2019. The reasons for the requested carry forward funding include agreements that have not been signed, projects that are multi-year, and not receiving approval on final acceptance certificates.

The amount requested to be carried forward for offset levy projects is \$7,369,043, which is 18% of the total 2018 capital carry forward request and 10% of the overall 2018 capital budget. The list below includes only those projects that have carry forward amounts. There were savings of \$369k in offsite levy projects in 2018 due to lower than anticipated project deficiencies.

Offsite Levy Carry Forward			
Offsite Levy Project	2018 Budget	2018 Actual	Carry Forward
075.034 - Robinson Water Reservoir	2,222,365	1,050,264	1,172,101
075.075 - 65th Avenue West (Discovery to Grant MacEwan)	1,000,000	4,000	996,000
075.050 - 65th Avenue West (Discovery Way to QE II)	950,000	2,000	948,000
075.051 - Annexation Area Lift Station and Forcemain	5,661,051	4,312,185	819,670
075.060 - Grant MacEwan Boulevard from Windrose Dr to 38 Ave	750,000	-	750,000
075.061 - Grant MacEwan South (38 Ave to Blackstone)	750,000	-	750,000
075.077 - Spine Road - 65th Avenue East to Lakeside Industrial	600,000	1,000	599,000
075.056 - Spine Road (Allard Avenue to 65th Avenue East)	300,000	4,000	296,000
075.064 - 65th Avenue East (35th Street to Spine Road)	224,069	2,000	222,069
075.066 - Grant MacEwan Construction (65th Ave to Bridgeport)	200,000	2,000	198,000
075.058 - Southeast Boundary Road (Hwy 2A to Coady Blvd.)	250,000	65,832	184,168
075.079 - Airport Road Upgrades	494,167	336,470	157,697
075.046 - Trunk Water Mains	348,819	197,482	151,337
075.054 - 50th Avenue (Deer Valley Drive to west of Fire Hall access)	65,000	-	65,000
075.084 - Tribute Water Main Highway Crossing	60,000	-	60,000
Total Offsite Levy Carry Forward			7,369,043

Proposed City Capital Project Carry Forward

The City capital project carry forward is listed below. Many of these projects have signed agreements and/or span more than one year which causes these funds to be committed. The total amount of the City capital project carry forward is \$32,881,485, which represents 82% of the total 2018 capital carry forward request. Administration has diligently reviewed these carry forward requests, which represent approximately 44% of the overall 2018 capital budget. This year the City experienced savings of \$5.6 million, which is 7% of the total capital budget. The \$5.6 million in savings were spread across a number of capital programs. Any savings that were funded by grants will transform into available carry forward with respect to these conditional capital grants.

The listing below is not an all-inclusive listing of the carry forwards for City projects. Only those projects with a budget of \$500,000 or greater were included.

COUNCIL REQUEST FOR DECISION

City Projects Carry Forward			
City Projects Carry Forward	2018 Budget	2018 Actual	Carry Forward
087.142 - RCMP Expansion - Sub to FSMP	13,000,000	-	13,000,000
077.578 - 65th Avenue Interchange Design	3,800,000	803,428	2,996,572
079.135 - Annexation and Accord	1,334,440	159,197	1,175,243
077.571 - North Telford	4,000,000	2,972,122	1,027,878
092.240 - Integrated Enterprise Finance & HR System	920,914	-	920,000
076.313 - 48th Street/Black Gold Drive Crossing Signals	900,000	-	900,000
081.080 - Reservoir Improvements	1,096,300	217,083	879,216
076.303 - Telford Lake Multiway	1,660,137	909,475	750,662
081.095 - Water Meter Replacement	750,000	-	750,000
076.198 - Sanitary over sizing for land outside of City limits (West)	700,000	-	700,000
076.312 - 47th Street Grade Crossing	650,000	-	650,000
080.266 - Storm Pond Refurbishment	563,949	55,000	508,949

Proposed Operating Carry Forward

The operating projects that were not completed in 2018 due to timing or capacity issues are listed below. It is proposed that these funds be carried forward into the 2019 operating budget. The total of all operating carry forward amounts is \$227,978. It should be noted that \$45,000 of this amount is funded by a provincial grant.

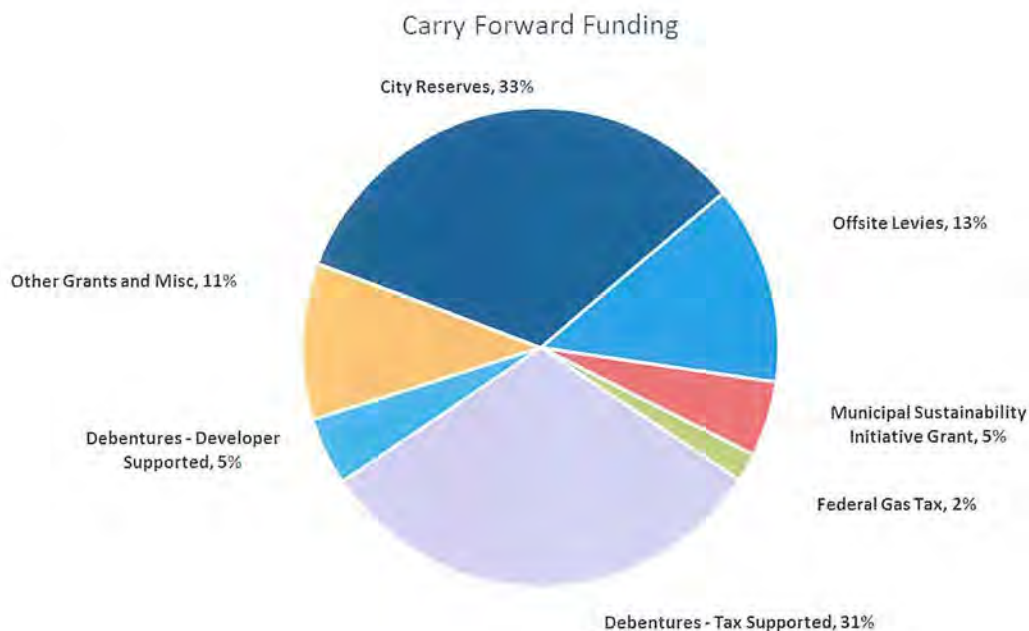
Operating Carry Forward		
Department	Project Description	Amount
Intergovernmental Affairs & Corp Planning	Federal Advocacy and Grant Support	25,000
Intergovernmental Affairs & Corp Planning	Collateral & Installations Strategic Plan Launch	16,000
Intergovernmental Affairs & Corp Planning	Support for Strategic Plan Launch/Marketing	10,000
Finance	Assessment Transition	11,000
Enforcement Services	U of A QEII Traffic Safety Study	7,700
Culture & Community Development	Provincial Funded - Opioid Crisis Campaign	45,000
Culture & Community Development	Batting Cages	31,778
Culture & Community Development	General Materials and Supplies - Equipment	9,000
Culture & Community Development	2016 Summer Games Legacy Grant - LRC recognition wall	5,000
Culture & Community Development	City Funded - Opioid Crisis Campaign	5,000
Culture & Community Development	Farmers Market	2,500
Communications & Marketing	Substance Abuse Prevention Campaign	30,000
Communications & Marketing	Marketing Initiatives	30,000
Total Operational Carry Forward		227,978

ORGANIZATIONAL:

There are no organizational implications.

FINANCIAL:

The total capital carry forward request is \$40,250,528. Offsite levy projects, which are developer funded, account for 18% of the capital carry forward request. These projects are funded by offsite levies, which is 13% of the total carry forward funding, and debentures, which is 5% of the total carry forward funding. City capital projects account for 82% of the capital carry forward and are funded from a combination of City reserves (33%), debentures (31%), and grants (18%). The chart below shows the funding for the capital carry forward amounts.



POLICY:

There are no policy implications.

LEGAL:

The 2019 operating and capital budgets have been previously adopted by Council (December 3, 2018); therefore, they are the only body that can approve these changes. As these carry forwards will affect the 2019 budget it is necessary to receive approval to carry forward the amounts.

ALTERNATIVES:

1. That Council denies the recommendation of the 2019 capital budget to include the 2018 capital budget carry forward in the amount of:
 - \$32,881,485 for City capital projects;

- \$7,369,043 for offsite levy projects;
2. That Council amends the recommendation of the 2019 capital budget to include the 2018 capital budget carry forward in the amount of:
 - \$32,881,485 for city capital projects;
 - \$7,369,043 for offsite levy projects;
 3. That Council denies the recommendation of the 2019 operating budget to include the 2018 operating carry forward of \$227,978.
 4. That Council amends the recommendation of the 2019 operating budget to include the 2018 operating carry forward of \$227,978.

Others Who Have Reviewed this Report

P. Benedetto, City Manager / B. Loewen, City Solicitor / I. Sasyniuk, General Manager, Corporate Services / D. Melvie, General Manager, Community & Protective Services / M. Pieters, General Manager, Infrastructure & Planning / Jennifer Cannon, Director, Finance

MEETING DATE: March 11, 2019

SUBMITTED BY: Ken Woitt, Director, Planning & Economic Development

PREPARED BY: Sylvain Losier, Manager, Current Planning & Development

REPORT TITLE: Policy 61.00:3 – Lot Drainage & Policy 61.00:4 - Procedure for Obtaining Lot Grading Approval

REPORT SUMMARY

The purpose of this report is to present a recommendation to update two policies related to drainage in order to reflect today's practice and provide an additional choice to the building industry.

RECOMMENDATION

That Council approve the update of Policy 61.00:3 - Site Drainage and Policy 61.00:4 - Procedures For Obtaining Lot Grading Approvals as presented in this report.

BACKGROUND

KEY ISSUE(S) / CONTEXT:

During 2018, Administration has gone over the policies to identify which ones could be posted, amended, or should be rescinded. Also, Administration has identified for each policy the proper authority as certain policies were adopted by Council, while others by Administration.

Policy 61.00:3 - *Site Drainage* and Policy 61.00:4 - *Procedures For Obtaining Lot Grading Approvals* are two policies that were identified by Administration in 2018 as policies requiring updates. As the policies were being reviewed, a discussion was being held with certain members of the development community. These policies are of interest to the development community as the current policies do not support the construction of window wells.

In an urban municipality forum held very recently, Engineering discovered that other municipalities allow window wells to be constructed under the Alberta Safety Codes. It appears the City of Leduc may be the only urban municipality restricting this practice in the Edmonton Metropolitan Region. This can add certain challenges and costs to the design and construction of a house according to the development industry.

LEGISLATION AND/OR POLICY:

Under the new Municipal Government Act (MGA), section 638.2, every municipality must compile and keep updated a list of any policies that may be considered in making a decision under this part of the Act, being Part 17 Planning and Development. The policies are currently on the City of Leduc's website.

PAST COUNCIL CONSIDERATION:

Policy 61.00:3 Site drainage

The original policy was issued on July 22, 1991 and since its adoption, this policy has never been reviewed.

In addition to the policy, Council approved *Bylaw 229-91, A Bylaw of the City of Leduc To Regulate Drainage From Private Lots On To Adjacent Private And Public Lots*. Administration has reviewed the bylaw and the proposed policy would be aligned with the bylaw. A potential change could be made by replacing the term "Building Inspector" with "Safety Code Officer" in paragraph 2 of Bylaw 229-91 in order to reflect the current terminology employed. The essence of the bylaw is still the same with or without this change. Considering that to change the bylaw a public hearing is required and that the Engineering Department will be updating the Minimum Engineering Standards, Administration recommends to not amend the bylaw at this point. Once the Minimum Engineering Standards are reviewed, then Bylaw 229-91 should be re-examined.

Policy 61.00:4 Procedure for Obtaining Lot Grading Approvals

The original policy was issued on September 22, 1992 and since its adoption, this policy has never been reviewed.

CITY OF LEDUC PLANS:

Municipal Development Plan

Section 2D Water Resources: The City shall protect water resources and manage municipal water supplies by...

6. preserving natural streams and constructed drainage systems in developed urban areas;...

Section 4E New Residential Development: The City shall provide for new residential neighbourhoods by:

25. requiring that all new residential subdivision and site plans include landscaping and open space plans that take into account, integrate, and where appropriate, protect existing natural vegetation, topography, wildlife, soils, water bodies, drainage courses, and climatic conditions;...

IMPLICATIONS OF RECOMMENDATION

ORGANIZATIONAL:

There are no organizational implications related to the recommendation.

POLICY:

Policy 61.00:3 and 61.00:4 would be updated should Council agree with the recommendation.

LEGAL:

If Council approves the recommendation, the new policies will be published as required by the Municipal Government Act.

IMPLEMENTATION / COMMUNICATIONS:

As per the MGA, policies need to be made available on the City's website. Furthermore, Administration would like to explore the possibility of partnering with BUILD to initiate an education/awareness campaign in regards to drainage, grading, and general maintenance in order to avoid conflicts and issues.

ALTERNATIVES:

Council could decide to rescind both policies as the majority of the provisions contained within are adhered to by today's industry as good practices. Having said this, Administration believes that there is value in keeping them as they provide good information to the less experienced property owners and builders.

ATTACHMENTS:

- Attachment 1: Current policy 61.00:3
- Attachment 2: Proposed policy 61.00:3
- Attachment 3: Bylaw 229-91
- Attachment 4: Current policy 61.00:4*
- Attachment 5: Proposed policy 61.00:4

Others Who Have Reviewed this Report

P. Benedetto, City Manager / B. Loewen, City Solicitor / M. Pieters, General Manager, Infrastructure & Planning



CITY OF LEDUC POLICY

PAGE: 1 OF 3
POLICY NUMBER: 61.00:3

AUTHORITY: DIRECTOR OF PLANNING & DEVELOPMENT

ISSUE DATE: 07/22/91

DATE:

SUPERSEDES:

AREA/CHAPTER: DEPARTMENT OPERATIONS

POLICY NAME/TITLE/SUBJECT: SITE DRAINAGE

DEPARTMENT/SECTION: PLANNING & DEVELOPMENT

RELEVANT LEGISLATIVE:

RELEVANT BYLAW/RESOLUTION: BYLAW 229-91/RESOLUTIONS 375/91 & 459/91

POLICY OBJECTIVE:

To minimize infiltration and inflow of extraneous water into the sanitary sewer system and to reduce the possibility of soil erosion and surface drainage problems on public and private properties.

POLICY:

1. GENERAL INFORMATION:

To ensure protection for the resident and the City, the following is required:

- a) the elimination of subsurface drainage being connected to the sanitary sewer system, and
- b) the control of surface drainage within private property and from there onto public property, and
- c) the carrying out of procedures to ensure compliance with approved engineering design drainage plans.

As a result of the above, builders and property owners must, as a requirement of a permit to build, make alternate provisions for surface and subsurface drainage, and must ensure that all finished grades within at least 1.5 m (5 ft.) of the building provide drainage away from the building.

2. BUILDING PERMIT AND OCCUPANCY CONDITIONS

The following requirements are provided to ensure that builders and property owners adequately implement acceptable standards for surface and subsurface drainage:



CITY OF LEDUC POLICY

PAGE: 2 OF 3
POLICY NUMBER: 61.00:3

POLICY:

- a) A Lot Grading Plan reflecting the Developer's plans shall be prepared by a surveyor and submitted to the Planning and Development Department indicating drainage and finished grade elevations on each new site proposed for building development. Where a new home is proposed which will affect existing grades in older neighborhoods and where a Lot Grading Plan has not been undertaken, a Lot Grading Plan shall be prepared by an engineer. After the review and approval of the plan, any changes in the overall drainage plan must be stamped by a professional engineer and must be approved by the Planning Department prior to construction.

- b) A Lot Grading Completion Certificate shall be submitted to the Planning and Development Department when development is complete upon a site.

The Lot Grading Certificate must indicate the elevation at all corners of the lot and at all corners of the residence. A vertical measurement must be provided indicating the distance between the finished lot grading and a fixed identifiable location at each corner of the residence.

- c) Prior to the issuance of the Final Acceptance Certificate where a development agreement has been signed for newly subdivided lands, Schedule "A", attached to this policy, and Lot Grading requirements of the Municipal Engineering Standards, shall apply, and conformance to grades will be the responsibility of the Developer.

- d) The Building Inspector shall be notified by the applicant upon completion of construction that final inspection is required, and final inspection must be complete prior to occupancy.

- e) The subsurface drainage shall be disposed of by means other than into the sanitary sewer system.

NOTE: WEEPING TILE MUST NOT BE CONNECTED TO THE SANITARY SEWER SERVICE FROM THE BUILDING. An approved method to dispose of storm water is by way of gravitational flow to a sump pit with an automatic pump discharging to a drainage ditch or swale. (Refer to detail for recommended standard.)

- f) In the event of unforeseen problems necessitating the discharge of subsurface drainage into the sanitary sewer, permission must be obtained in writing from the Building Inspector. A temporary installation and removal of the cross-connection must be witnessed by the Inspector.



CITY OF LEDUC POLICY

PAGE: 3 OF 3
POLICY NUMBER: 61.00:3

POLICY:

- g) To ensure the integrity of the long term operation of the weeping tile system, downspouts should not be connected to the system, and surface water should be directed away from window wells or any other devices which might lead to the weeping tile system.
- h) A builder, owner, or resident may not alter any lot drainage or finished grade elevations as approved or accepted by the City unless approval has been granted by the City to do so.
- i) Concrete exterior foundation walls shall extend at least 150 mm (6 in.) above finished ground level or as specified in the Alberta Building Code Regulations.

NOTE: The bottom of basement windows are required to be 150 mm (6 in.) above finished grade or other means of protection must be provided as approved by the City. Window wells are not recommended. If window wells are used, they must be at least 75 mm (3 in.) above finished grade and must be adequately fastened and sealed to the concrete foundation.

- j) Sufficient top soil shall be provided above the initial lot grading as backfill to ensure a 10% (6 in. in 5 ft.) slope after settlement for at least 1.5 m (5 ft.) around the foundation.
- k) Downspouts and surface discharge of sump must extend a minimum of 1.5 m (5 ft.) from foundation walls by the use of impermeable hard surface or drainage pipe at sufficient grade to ensure that water will not accumulate at, or near, the building. As an alternative, underground and surface discharge must terminate at least 3 m from any public sidewalk, curb, or roadway in a manner which will prevent soil erosion on the parcel or on private property. Drainage must not be permitted to encroach on adjacent properties.

NOTE: It is the responsibility of the owner/applicant to set the depth of the foundation at a level that will ensure required frost coverage and lot grading that conforms to the plot plan submitted and the approved Developer's subdivision grading plan.

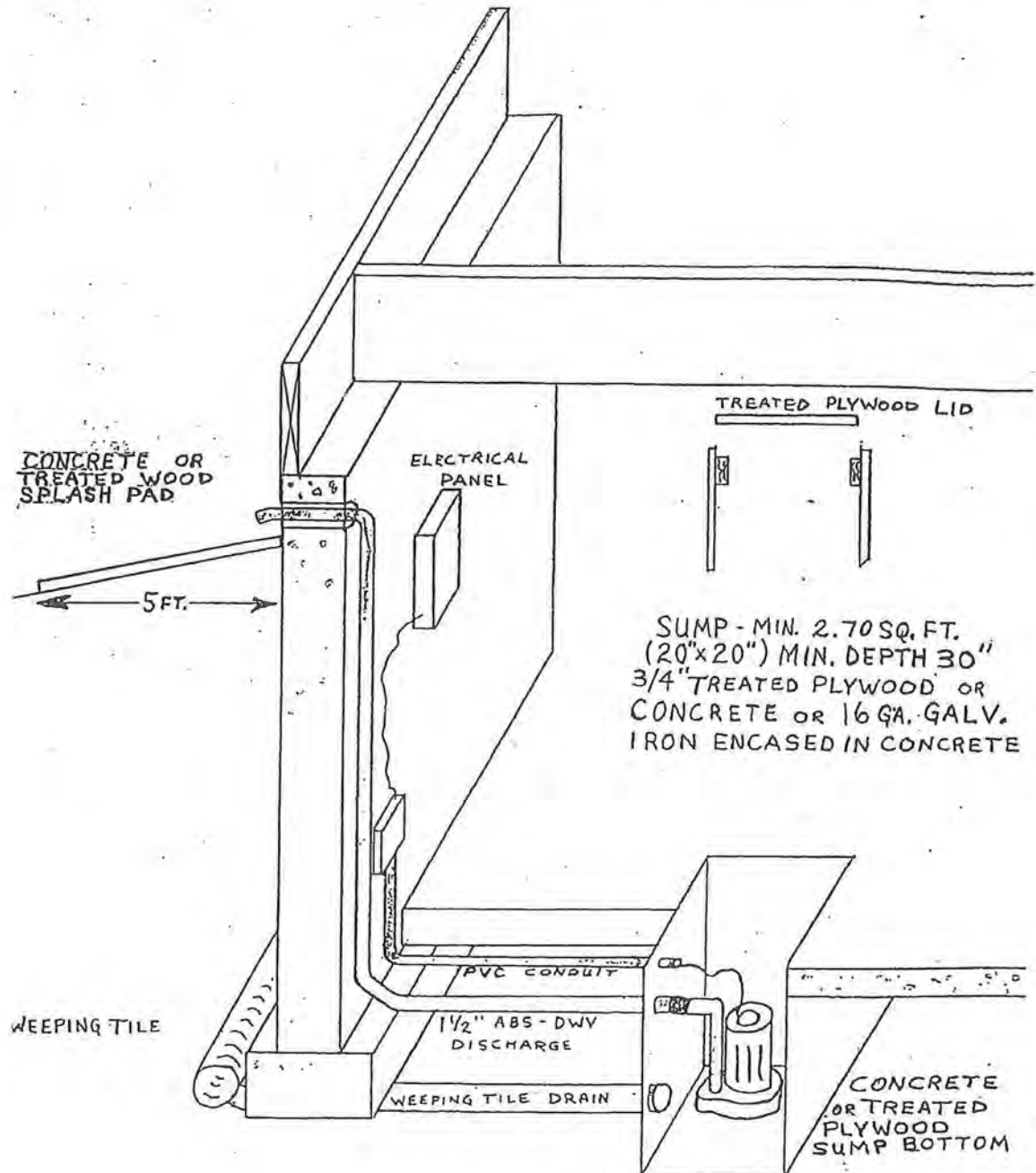
"Original Signed"

AUTHORITY'S SIGNATURE:



CITY OF LEDUC POLICY

PAGE: APPENDIX A
POLICY NUMBER: 61.00:3



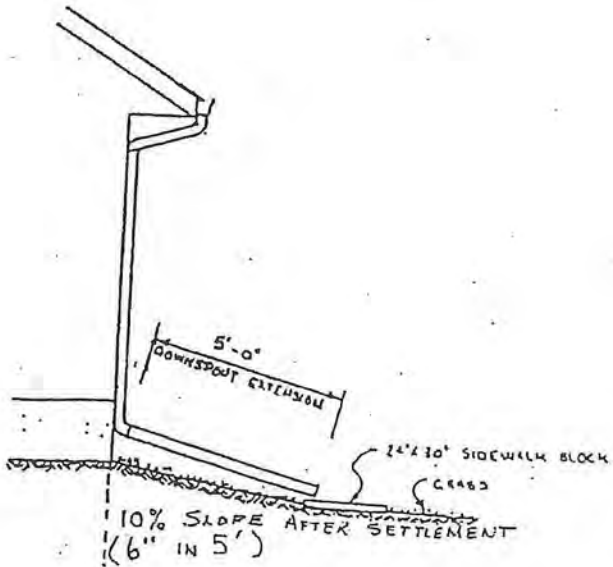
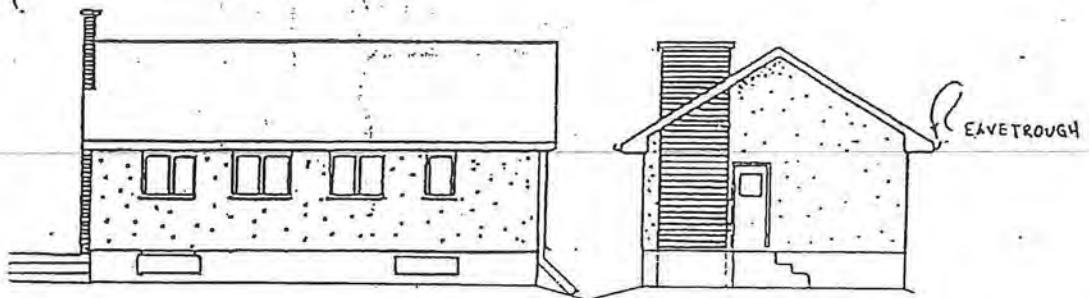
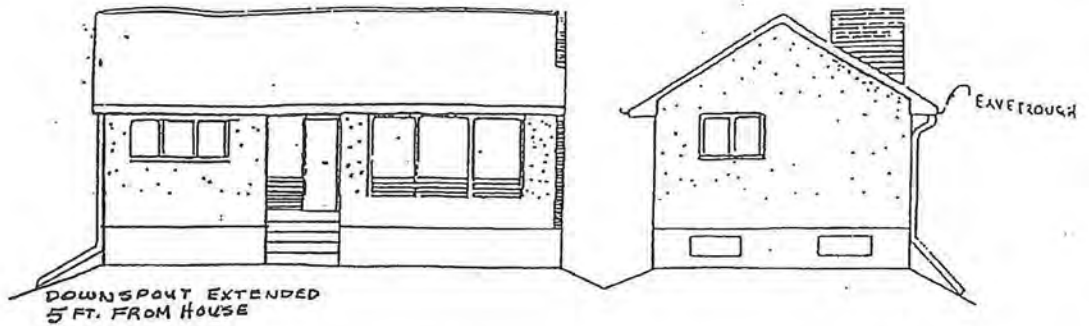
CITY OF LEDUC — SUGGESTED SUMP DETAIL

- It is suggested that the floor drain should be located within 10 feet of the sump.



CITY OF LEDUC POLICY

PAGE: A - 2/
POLICY NUMBER: 61.00:3

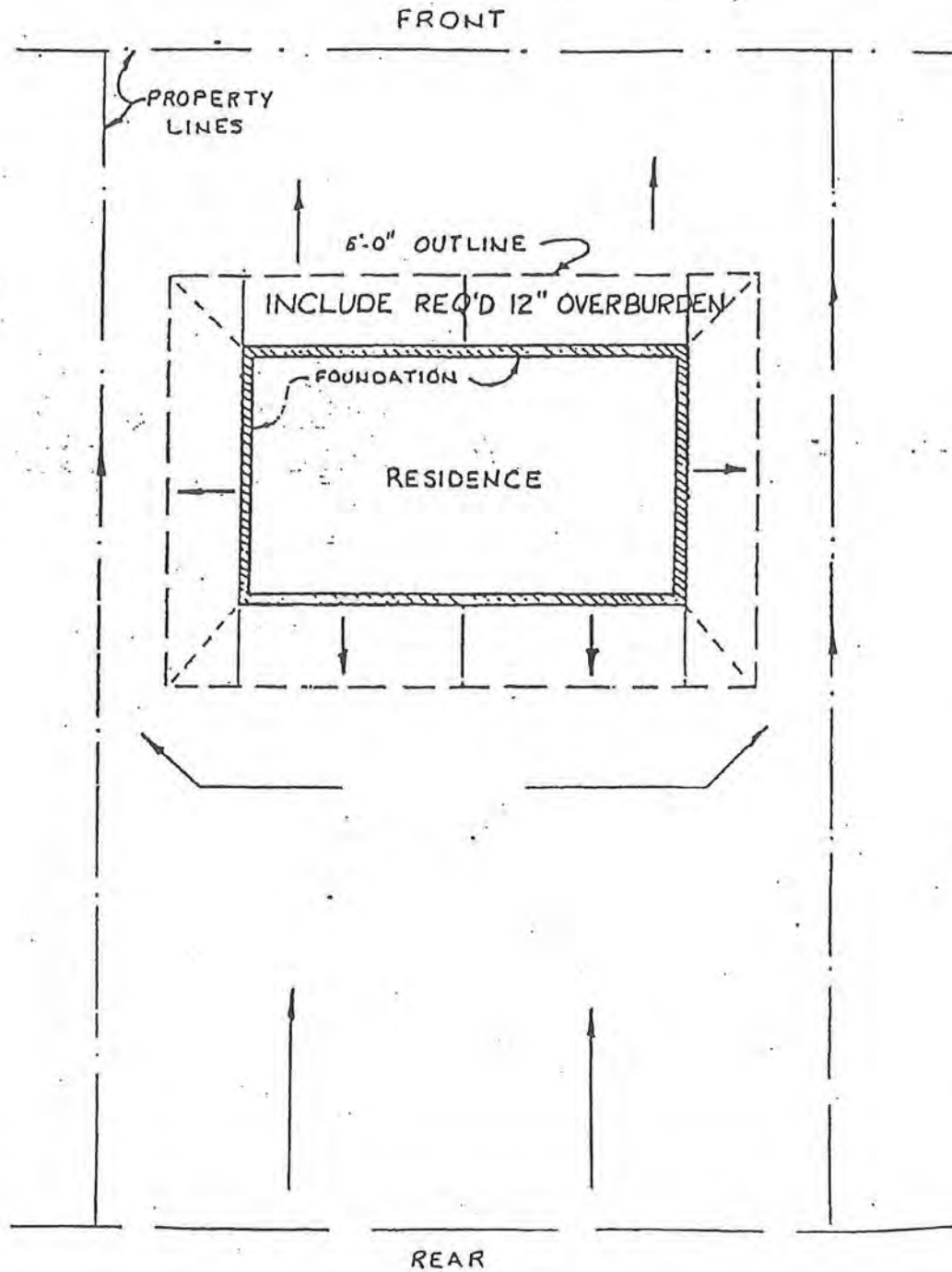


TYPICAL DOWNSPOUT EXTENSION



CITY OF LEDUC POLICY

PAGE: A - 3
POLICY NUMBER: 61.00:3

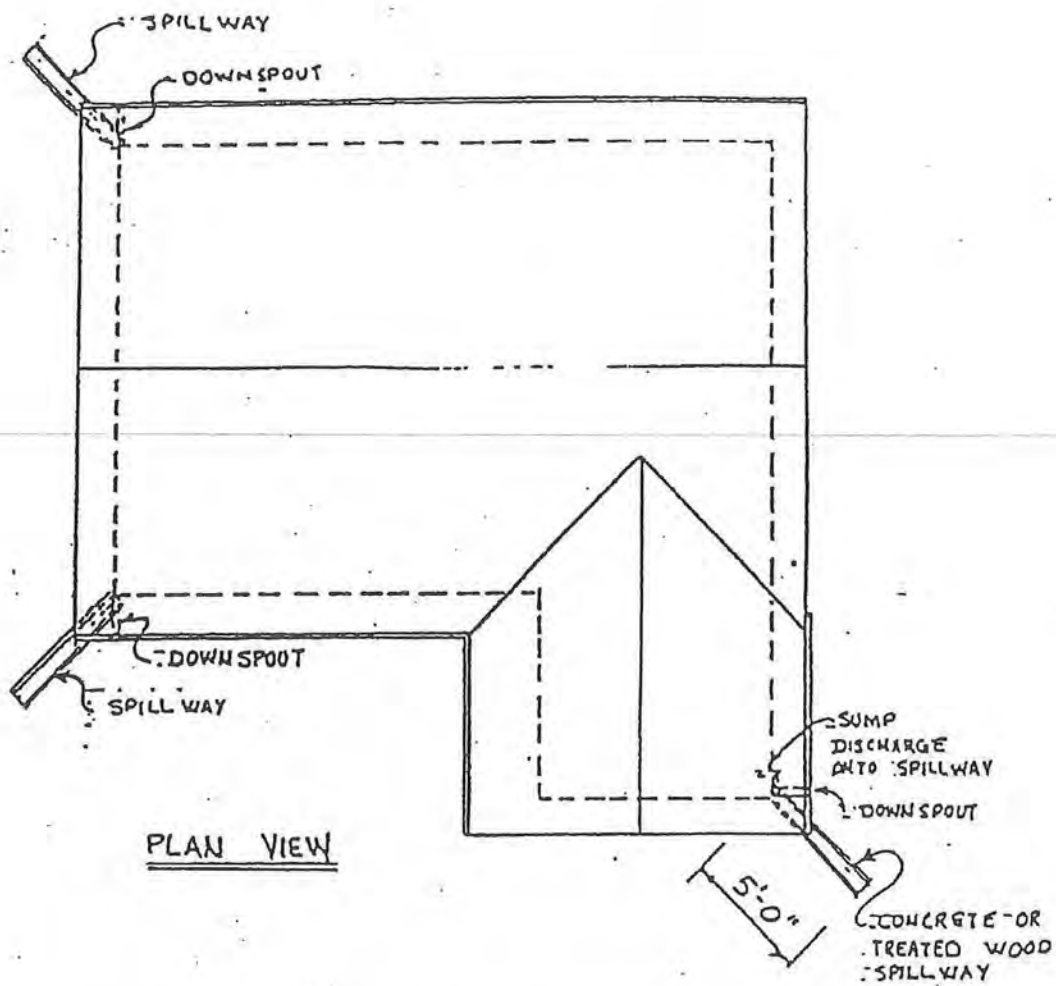


EXAMPLE LOT GRADING



CITY OF LEDUC POLICY

PAGE: A - 4
POLICY NUMBER: 61.00:3





City of Leduc Policy

Policy Title: LOT DRAINAGE

Policy No: 61.00:03

Revision No: 1

Supersedes: Original

Authority: Council	Approval Date: March 11, 2019
Responsible Division: Planning and Development	Effective Date: March 11, 2019
Relevant Legislation:	
Relevant Bylaw and Date(s): Bylaw 229-91, September 23, 1991	
Relevant Council Resolution: 375/91	
Authority's Signature:	

Policy Objective:

To minimize infiltration and inflow of extraneous water into the sanitary sewer system and to reduce the possibility of soil erosion and surface drainage problems on public and private properties.

Definitions:

Alberta Building Code means the standards and respective Regulations under the Safety Codes Act.

City means the City of Leduc.

City Engineer means the City of Leduc Director of Engineering.

Developer means a person or an authorized and delegated representative that submits an application:

1. to enter into a Development Agreement with the City of Leduc; or
2. for a Development Permit.

Development Agreement means the agreement signed between the Developer and the City for the purpose of servicing and generally facilitating a development or subdivision.

Final Lot Grading Certificate means a document prepared by a Surveyor that confirms strategic elevations for the lot.

Lot Grading Plan, at the discretion of the City Engineer, means the grading plan prepared by:

- A) a Surveyor, in the case of a lot for a single detached or duplex dwelling with an approved Subdivision Grading Plan; or
- B) A Professional Engineer, in all other cases.

A Lot Grading Plan may also be referred to as a Plot Plan or a Site Plan.

Professional Engineer means a member of the Association of Professional Engineers and Geoscientists of Alberta (APEGA) having the right to practice within Alberta under the Engineering and Geoscience Profession Act.

Subdivision Grading Plan means the grading plan prepared by a Professional Engineer for the stage for which a Development Agreement has been signed and approved by the City Engineer or a delegated staff.

Surveyor means an Alberta Land Surveyor as defined in the Land Surveyors Act.

Policy:

1. To ensure protection for the resident and the City, the following is required:
 - A. The elimination of subsurface drainage being connected to the sanitary sewer system;
 - B. The control of surface drainage within private property and from there onto public property; and
 - C. The carrying out of procedures to ensure compliance with approved engineering design drainage plan.

As a result of the above, builders and property owners must, as a requirement of a Building Permit, make provisions for surface and subsurface drainage, and must ensure that all finished grades provide drainage away from the building.

Process:

1. The following requirements are provided to ensure that builders and property owners adequately implement acceptable standards for surface drainage:

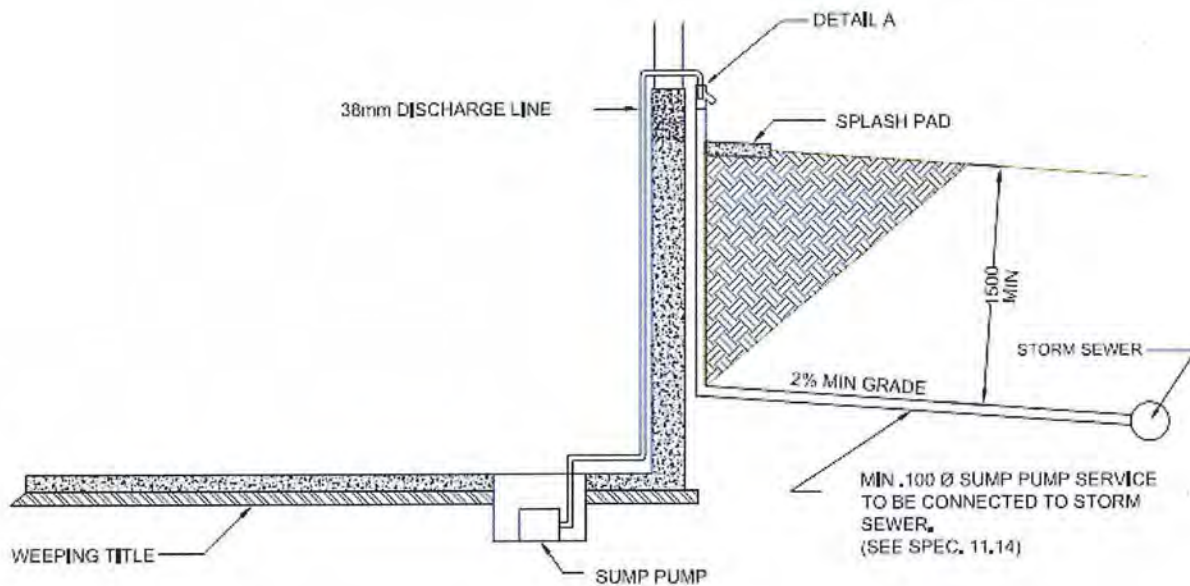
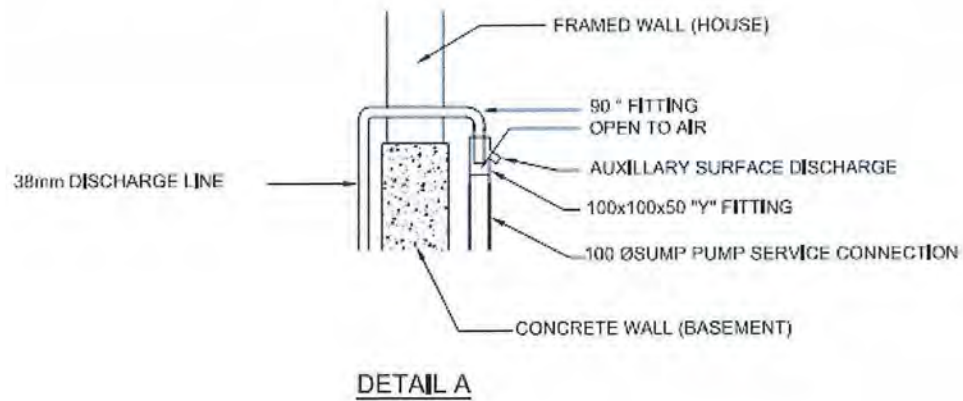
- A. A Subdivision Grading Plan shall indicate drainage and finished grade elevations on each lot proposed for development. After the review and acceptance of the plan, any changes in the Subdivision Grading Plan must be stamped by a Professional Engineer and must be submitted to the Planning & Development Department prior to construction. Planning & Development will coordinate with the City Engineer.
- B. A Lot Grading Completion Certificate shall be submitted to the Planning & Development Department when development is completed upon a lot.

The Lot Grading Completion Certificate must indicate the elevation at all corners of the lot and at all corners of the building. A vertical measurement must be provided indicating the distance between the finished lot grade and a fixed identifiable location at each corner of the building.

- C. Prior to the issuance of the Final Acceptance Certificate where a Development Agreement has been signed, lot grading requirements of the City of Leduc Engineering Standards shall apply, and conformance to grades will be the responsibility of the Developer.
- D. The subsurface drainage shall be disposed of by means other than into the sanitary sewer system unless special permission is granted by the City's Public Services Department.
- E. To ensure the integrity of the long term operation of the weeping tile system, downspouts shall not be connected to the weeping tile system. Surface water should be directed away from window wells or any other devices which might lead to the weeping tile system.
- F. A builder, owner, or resident shall not alter any lot drainage or finished grade elevations as approved or accepted by the City unless approval has been granted by the City to do so.
- G. Concrete exterior foundation walls shall extend at least 150 mm (6 in.) above finished ground level or as specified in the Alberta Building Code.
- H. Should the bottom of basement windows not meet the minimum elevation above finished grade, other means of protection must be provided and meet all requirements of the Alberta Building Code.
- I. Downspouts and surface discharge from the sump must extend a minimum of 1.2 m (4 ft.) from foundation walls by the use of impermeable hard surface or drainage pipe at sufficient grade to ensure that water will not accumulate at, or near, the building (see Appendix A for illustration). As an alternative, underground and surface discharge must terminate at least 3 m (9 ft. 10 in.) from any public sidewalk, curb, or roadway in a manner which will prevent soil erosion on the parcel or on private property. Drainage must not be permitted to encroach on adjacent properties unless a reciprocal easement agreement for drainage is prepared and registered on Title for all lots affected by the drainage agreement. The City of Leduc shall be a third party to all drainage agreements.

Appendix A

Typical sump pump design (for illustrative purposes only)



ALL DIMENSIONS IN
MILLIMETRES UNLESS
OTHERWISE NOTED

BYLAW NO 229-91

OF THE

CITY OF LEDUC

A BYLAW OF THE CITY OF LEDUC TO REGULATE DRAINAGE FROM PRIVATE LOTS ON TO ADJACENT PRIVATE AND PUBLIC LOTS.

WHEREAS, pursuant to Section 160 and Section 198 of the Municipal Government Act, Council has the authority to regulate drainage from private lots on to adjacent private and public lots; and

WHEREAS, the City has experienced damage to public property as a result of poor drainage from private property onto other private and public properties; and

WHEREAS, Council has decided it is expedient to establish regulations to control drainage from private lots.

NOW THEREFORE THE MUNICIPAL COUNCIL OF THE CITY OF LEDUC IN THE PROVINCE OF ALBERTA IN COUNCIL DULY ASSEMBLED, ENACTS AS FOLLOWS:

1. No drainage system shall be directed below grade from a lot onto public property or shall occur as directed below grade within a distance of three meters from any public sidewalk, curb or roadway.
2. All subsurface drainage systems shall direct drainage to the surface in a manner acceptable to the building inspector and shall occur in such a manner that is safe and will not cause soil erosion.
3. Notwithstanding Clause 1, where subsurface drainage occurs within a distance of three meters from a public sidewalk, curb or roadway on a private lot developed before the date of the passage of this by-law, the City may authorize that the subsurface drainage system not be removed.
4. If the City has adopted a surface drainage plan for a particular area, the grade of all lots within that area shall be maintained in conformance with the said surface drainage plan.
5. Where the municipality has reason to believe that grades do not meet a surface drainage plan or that a drainage system is discharging water in contravention of this by-law, it may authorize a representative to enter any land, building or premises except a dwelling house for the purpose of inspecting the grades or the drainage system to determine if either contravenes this by-law.
6. Where grades or a drainage system is determined to be in contravention of this by-law, the municipality may serve notice on the owner of the land, building or premises involved requiring that owner to rectify within fourteen (14) days from delivery of the notice.
7. In any case where notice to rectify has been served on an owner and the owner has failed to rectify within the required fourteen-day period, the municipality may authorize any person to enter any land, building or premises, except a dwelling house to rectify, and a cost to rectify may be charged to the property owner in which the non-conforming grades or drainage system exists and in default of payment may be charged against the land concerned as taxes due and owing in respect of that land.

8. In any case where notice to rectify has been served on an owner and the owner has failed to rectify in accordance with this by-law, a Peace Officer may in respect to the alleged breach issue a violation ticket, and second and subsequent violation tickets, in accordance with the amounts specified in Schedule 'A' attached to and forming part of this by-law.
9. All roof drain downspouts, pump systems or other devices installed to control water drainage from a lot, whether installed by the municipality or by a property owner, or by any other person, are required to be maintained in good working order and at the expense of the property owner.
10. In the event any damage to municipally-owned property is found to result from grades or a drainage system installation which contravenes this by-law, the property owner in which the non-conforming grades or drainage system exists shall be held liable to compensate the municipality to the full extent of the damages sustained.
11. Notwithstanding Clauses 6, 7 and 8 of this by-law, where grades or a drainage system, in the opinion of the building inspector, is creating or has created a nuisance or emergency situation, then the municipality may authorize any person to enter any land, building or premises, except a dwelling house to rectify the nuisance or emergency situation immediately and the cost to rectify may be charged to the property owner in which the non-conforming grades or drainage system exists and in default of payment may be charged against the land concerned as taxes due and owing in respect of that land.

DATE OF COMMENCEMENT

This Bylaw shall come into full force and effect upon final passing.

READ A FIRST TIME IN COUNCIL THIS 23RD DAY OF SEPTEMBER, A.D., 1991.

"Original Signed"

MAYOR

"Original Signed"

CITY CLERK

READ A SECOND TIME IN COUNCIL THIS 23RD DAY OF SEPTEMBER, A.D., 1991.

"Original Signed"

MAYOR

"Original Signed"

CITY CLERK

READ A THIRD TIME AND FINALLY PASSED THIS 23RD DAY OF SEPTEMBER , A.D.
1991.

"Original Signed"

MAYOR

"Original Signed"

CITY CLERK

BYLAW NO. 229-91

SCHEDULE 'A'

FIRST OFFENCE PENALTY

Breach of bylaw - \$50.00

SECOND OFFENCE PENALTY

Breach of bylaw - \$100.00

SUBSEQUENT OFFENCE

Breach of bylaw - \$200.00



CITY OF LEDUC POLICY

2000-16086

PAGE: 1 OF 4
POLICY NUMBER: 61.00:4

AUTHORITY: DIRECTOR OF PLANNING AND DEVELOPMENT

ISSUE DATE: 09/22/92

DATE: AUGUST 20, 1993

SUPERSEDES:

AREA/CHAPTER: PLANNING AND DEVELOPMENT

POLICY NAME/TITLE/SUBJECT: PROCEDURES FOR OBTAINING LOT GRADING APPROVALS

DEPARTMENT/SECTION: ENGINEERING & ENVIRONMENTAL SERVICES

RELEVANT LEGISLATIVE:

RELEVANT BYLAW/RESOLUTION: RESOLUTION #403/92

POLICY OBJECTIVE:

To clarify the requirements and procedures for lot grading design, implementation and final approval.

POLICY:

1. SUBDIVISION DESIGN:

As required by the development agreement a Professional Engineer, working on behalf of the developer, must design the subdivision grading plan in accordance with the Municipal Engineering Standards for the City of Leduc. This plan must include design elevations at the following critical boundary locations on each lot:

- a) all lot corners,
- b) points measured 8.0m along the property lines from the front,
- c) points measured 10.0m along the property lines from the rear, and
- d) any point along the property line where a change in grade occurs.

2. INTERIOR LOT DESIGN:

Interior lot grading design shall remain the responsibility of the property owner and will be subject to the review of the Development Officer prior to issuance of a Development Permit. In order to verify that the proposed lot grading design will suit the actual on-site conditions, the Development Officer may require that critical elevations from the adjacent lot be shown on the surveyor's plot plan prior to approval.

The interior lot grading design must provide the following minimum slopes:

- a) 10% of 2m away from the foundation,
- b) 2% along the common swale between lots on sod, and
- c) 0.5% along the common swale between lots on concrete or asphalt.



CITY OF LEDUC POLICY

PAGE: 2 OF 4
POLICY NUMBER: 61.00:4

POLICY:

3. SUBDIVISION CONFORMANCE:

Following Engineering and Environmental Services Department policy, upon completion of roadway construction a Professional Engineer, working on behalf of the developer, must provide as-built plans to the Engineering and Environmental Services Department which verify that:

- a) all curbs, sidewalks, concrete swales, lanes and project fencing has been installed to the correct elevation within tolerances acceptable to the City. The sidewalk and curb elevations are to be recorded at the extension of each lot line, and
- b) the rear (back of lot) 1.5m of each is pre-graded to within 50mm of the design elevation, less a 150mm allowance for topsoil.

In the event that the as-built plans show that the local improvements or grades were not installed within the above tolerances, the developer must either rectify the non-conformance or the developer's Professional Engineer must submit a revised subdivision grading plan to the Engineering and Environmental Services Department for review, approval and stamping of the original mylar lot grading plan by the City.

Should the City be notified that the local improvements or grades have not been installed or built to the correct elevation, the Development Officer will not issue Development Permits on any lands affected until grades have been changed, and the revised mylar plan has been reviewed, approved and stamped by the Engineering and Environmental Services Department.

4. HOME CONSTRUCTION:

Immediately after pouring the footings, the property owner shall have the footing elevations checked by an Alberta Land Surveyor. The tolerance permitted will be 30mm below or 150mm above the design elevation as approved on the lot grading plan and plot plan. The property owner must ensure that this certification is provided to the City's Building Inspector prior to construction of the basement walls.

Note that when an application for a building permit is made, an elevation view shall be provided showing building elevation and final lot grading where it abuts the building. The bottom of all windows shall be a minimum of 50mm above final lot grades.



CITY OF LEDUC POLICY

PAGE: 3 OF 4
POLICY NUMBER: 61.00:4

POLICY:

5. LOT GRADING PRIOR TO LANDSCAPING:

Prior to placement of topsoil for landscaping, the builder shall ensure that the lot is properly pre-graded on clay to at least 100mm below finished grade. The builder in agreement with the owner may desire to pre-grade up to 200mm below finished grade to allow for additional topsoil for landscaping the property adequately.

6. FINAL LOT GRADING APPROVAL:

Following placement of topsoil, the property owner shall obtain a "Certification of As-Built Grades" from an Alberta Land Surveyor which demonstrates that:

- a) the as-built elevations at the eight critical boundary locations are within the 50mm tolerance, provided that positive drainage is maintained along the property line to the street, and
- b) there is positive slope away from the home which provides a minimum 150mm vertical drop for a distance of 1.5m away from the home, measured from a point 50mm below the lowest basement opening on that side of the home.

The property owner must provide the "Certificate of As-Built Grades" to the developer, who is responsible to ensure that the Development Officer is provided with this documentation for each lot in the subdivision. In the event that the lot grading does not meet these minimum requirements, the Alberta Land Surveyor must apply a stamp to the survey report which indicates that the lot grading "DOES NOT CONFORM".

7. NON-CONFORMING LOTS:

- a) When the Alberta Land Surveyor issues a "Certificate of As-Built Grades" with the stamp stating, "DOES NOT CONFORM", the Alberta Land Surveyor is only stating the accuracy of the actual elevations. Should this occur, then the property owner must either re-grade the parcel to obtain certification from the Alberta Land Surveyor or must request the City for an inspection by the Development Officer. In such cases, the City shall review the survey report, inspect the lot and either:
 - i) issue to the property owner conditional approval of the lot grading with respect to its affect on adjacent properties and send a copy to the developer, or
 - ii) advise the property owner and the developer that changes are required to modify the grades or local improvements which do not conform.



CITY OF LEDUC POLICY

PAGE: 4 OF 4
POLICY NUMBER: 61.00:4

POLICY:

- b) A fee of \$150.00 shall be charged for an inspection of a non-conforming parcel. The fee may be returnable to the owner only if it is found that the incorrect grades are, in the opinion of the Inspector, a result of:
 - i) a non-conforming installation of local improvements or grades on public lands installed by the developer and accepted by the City, or
 - ii) any parcel boundary where the City has previously accepted a "Non-Conforming" elevation on adjacent lands.

8. LOT GRADING MAINTENANCE:

- a) Since basement backfill settlements can be expected to occur over several years, it is the responsibility of the property owner to repair any settlements in order to maintain positive drainage away from the home at all times.
- b) It is also the property owner's responsibility to ensure that no subsequent modifications to the grading of the lot are made which will adversely affect the drainage of adjacent lots.

"Original Signed"

AUTHORITY'S SIGNATURE:



City of Leduc Policy

**Policy Title: PROCEDURES FOR
OBTAINING LOT GRADING
APPROVALS**

Policy No: 61.00:04

Revision No: 1

Supersedes: Original

Authority: Council	Approval Date: March 11, 2019
Responsible Division: Planning and Development	Effective Date: March 11, 2019
Relevant Legislation:	
Relevant Bylaw and Date(s):	
Relevant Council Resolution: #403/92	
Authority's Signature:	

Policy Objective:

To clarify the requirements and procedures for lot grading design, implementation, and final approval.

Definitions:

Alberta Building Code means the standards and respective Regulations under the Safety Codes Act.

City means the City of Leduc.

City Engineer means the City of Leduc Director of Engineering.

Developer means a person or an authorized and delegated representative that submits an application:

1. to enter into a Development Agreement with the City of Leduc; or
2. for a Development Permit.

Development Agreement means the agreement signed between the Developer and the City for the purpose of servicing and generally facilitating a development or subdivision.

Final Lot Grading Certificate means a document prepared by a Surveyor that confirms strategic elevations for the lot.

Lot Grading Plan, at the discretion of the City Engineer, means the grading plan prepared by:

- A) a Surveyor, in the case of a lot for a single detached or duplex dwelling with an approved Subdivision Grading Plan; or
- B) a Professional Engineer, in all other cases.

A Lot Grading Plan may also be referred to as a Plot Plan or a Site Plan.

Professional Engineer means a member of the Association of Professional Engineers and Geoscientists of Alberta (APEGA) having the right to practice within Alberta under the Engineering and Geoscience Profession Act.

Subdivision Grading Plan means the grading plan prepared by a Professional Engineer for the stage for which a Development Agreement has been signed and approved by the City Engineer or a delegated staff.

Surveyor means an Alberta Land Surveyor as defined in the Land Surveyors Act.

Policy:

1. In order to receive grading approval, all developments must adhere to one of the following:

A. Lot Grading Plan conforming to existing Subdivision Grading Plan.

As required by the Development Agreement, a Professional Engineer working on behalf of the Developer must have supplied the Subdivision Grading Plan in accordance with the Minimum Engineering Design Standards for the City. The Subdivision Grading Plan will inform the Lot Grading Plan. The Lot Grading Plan must include design elevations at the following critical boundary locations on each lot:

- i. all lot corners; and
- ii. any point along the property line where a change in grade occurs.

B. Lot Grading Plan where a Subdivision Grading Plan is not in place or is insufficient.

Lot Grading Plan design shall remain the responsibility of the property owner and will be submitted to the Development Officer prior to the issuance of a Development Permit. In order to verify that the proposed lot grading design will suit the actual on-sites conditions, the Development Officer may require that critical elevations from the adjacent lot be shown on the Lot Grading Plan prior to approval.

The Lot Grading Plan must meet the City's Minimum Engineering Design Standards, which include, but are not limited to, the following minimum slopes:

- i. 10% within 2 m away from the foundation;
- ii. 2% along the common swale between lots on sod; and
- iii. 0.5% along the common swale between lots on concrete or asphalt.

2. Home construction

Immediately after pouring the footings, the property owner should have the footing elevation checked by a Surveyor. The tolerance permitted will be 30 mm below or 150 mm above the design elevation as approved on the Lot Grading Plan. Note that

when an application for a Building Permit is made, a Lot Grading Plan shall be provided showing building elevation and final lot grading where it abuts the building.

3. Lot grading prior to landscaping

Prior to placement of topsoil for landscaping, the builder shall ensure that the lot is properly pre-graded on clay to at least 100 mm below finished grade. The builder, in agreement with the owner, may desire to pre-grade up to 200 mm below finished grade to allow for additional topsoil for adequate landscaping.

4. Final lot grading approval

Following placement of topsoil, the property owner shall obtain a "Certification of as-built grades" from a Surveyor which demonstrates that:

- a) The as-built elevations at the critical boundary locations are within the 50 mm tolerance of the submitted Lot Grading Plan, provided that positive drainage is maintained along the property line to the street; and
- b) There is positive slope away from the building.

5. Non-conforming lots

Should deviation from the tolerance occur, the property owner must either re-grade the parcel to obtain certification from the Surveyor or must request the City for an inspection. In such cases, the City shall review the survey report, inspect the lot, and either:

- a) advise the property owner and the developer that changes are required to the grades or local improvements which do not conform; or
- b) may accept a deviation, at the City's discretion, if there is positive drainage away from the building and no impacts on adjacent properties.

6. Fees

A fee shall be charged for an inspection of a parcel under this policy as per the City's Fees Bylaw.

7. Lot grading maintenance

Since basement backfill settlements can be expected over several years, it is the responsibility of the property owner to repair any settlement in order to maintain positive drainage away from the building at all times.

It is also the property owner's responsibility to ensure that no subsequent modifications to the grading of the lot are made which will adversely affect the drainage of adjacent lots.

MEETING DATE: March 11, 2019

SUBMITTED BY: Ken Woitt – Director, Planning & Development

PREPARED BY: April Renneberg – Current Planner II

REPORT TITLE: Bylaw No. 1021-2019 (Amendment to Robinson Area Structure Plan) (2nd & 3rd Reading)

REPORT SUMMARY

Bylaw 1021-2019 will amend Bylaw 572-2004, being the Robinson Area Structure Plan, for the SW ¼ Section 19-49-24-W4.

RECOMMENDATION

1. That Council give Bylaw 1021-2019 second reading; and
2. That Council give Bylaw 1021-2019 third reading

BACKGROUND

KEY ISSUE(S) / CONTEXT:

An area structure plan (ASP) provides the framework for subsequent subdivision and development of an area of land within a municipality. The Robinson ASP describes the sequence of development anticipated for the lands located within the SW ¼ Section 19-49-24-W4, as well as the land uses proposed for the area and the general locations of major transportation routes and public utilities. Bylaw 1021-2019 seeks to amend the existing Robinson ASP first approved by Leduc City Council in 2004 (Bylaw 572-2004) and subsequently amended in 2013 (Bylaw 822-2013). The ASP includes a mix of low and medium density residential land uses, along with parks and open space, servicing infrastructure, and roads and multiway connections to service the community.

This proposed amendment to the Robinson ASP seeks to redistribute land uses and reconfigure the road network to continue to allow orderly and efficient development and transportation patterns while better reflecting market demand. Bylaw 1021-2019 proposes the following amendments:

- Extend the east/west collector road west of Robinson Drive and remove the south portion of Robinson Drive that connects to Township Road 493;
- Redistribute the medium density residential sites; and
- Reconfigure the park site in the southwest portion of the plan area.

These changes are focused in the southern portion of the plan area which, at this point in time, remains undeveloped. In conjunction with this proposed change in land use, the developer is also updating the statistics for the plan. The changes are intended to more closely reflect the density of development seen in the community to-date.

A public open house was advertised and hosted by the developer of the SW 19-49-24-W4 on January 29, 2019. Twenty-one members of the public, including three members of Council, were present, along with representatives of the developer and the City of Leduc. Residents were interested in clarifying the changes between the existing plan and the proposed. Other discussion touched on various topics including a desire to see more street-oriented townhousing as opposed to

condominium or apartment-style multifamily; maintaining and implementing good pedestrian connection within and between neighbourhoods; and slowing down traffic on central roads. There was also support for maintaining the large park space in the southeast corner of the plan area as it will be an important amenity for residents.

LEGISLATION AND/OR POLICY:

1. Municipal Government Act, RSA 2000, Chapter M-26, as amended
 - S. 633 outlines the parameters for adopting Council adopting an area structure plan, as well as the required contents and consistency of such a plan.
2. Regional Evaluation Framework, Edmonton Metropolitan Region Growth Plan
 - S. 4.2 outlines under what conditions an amendment to a statutory plan is to be referred to the Edmonton Metropolitan Region Board (EMRB) for approval prior to receiving third reading by Council.
 - As Conditions (a) through (k) of Section 4.2 are not applicable to this proposed amendment, the ASP amendment does not need to be submitted to the EMRB for review.

PAST COUNCIL CONSIDERATION:

Bylaw 1021-2019 was given first reading by Council at the regular meeting held February 25, 2019.

CITY OF LEDUC PLANS:

Bylaw 1021-2019 is consistent with the City's Municipal Development Plan, as amended and the City of Leduc-Leduc County Intermunicipal Development Plan, as amended. The proposed bylaw also follows the principles of the City's 2009 Neighbourhood Design Guidelines which encourage a mix of housing types, sizes and affordability, along with proximity to open park space and neighbourhood walkability.

IMPLICATIONS OF RECOMMENDATION

ORGANIZATIONAL:

There are no organizational implications.

POLICY:

There are no policy implications.

IMPLEMENTATION / COMMUNICATIONS:

The public hearing was held earlier at this meeting of Council. The hearing was advertised in the February 22 and March 1, 2019 issues of *'The Representative'*. Notices were also sent to landowners within 61 m of the lands most affected by the application.

ALTERNATIVES:

1. That Council amend Bylaw 1021-2019;
2. That Council defeat Bylaw 1021-2019.

ATTACHED REPORTS / DOCUMENTS:

1. Bylaw 1021-2019
2. Land Use Concept (Approved ASP)
3. Land Use Concept (Proposed ASP Amendment)

Others Who Have Reviewed this Report

P. Benedetto, City Manager / B. Loewen, City Solicitor / M. Pieters, General Manager, Infrastructure & Planning

AMENDMENT TO ROBINSON AREA STRUCTURE PLAN, BYLAW NO. 572-2004

The *Municipal Government Act*, R.S.A. 2000, Chapter M-26, as amended (the "Act") grants a municipality the authority to adopt by Bylaw an Area Structure Plan for the purpose of providing a framework for subsequent subdivision and development of an area of land in a municipality;

AND: Bylaw No. 572-2004 adopts the Robinson Area Structure Plan, passed by Council on July 26, 2004 and amended by Bylaw No. 822-2013;

AND: Council has deemed it expedient and necessary to further amend Bylaw No. 572-2004;

AND: notice of intention to pass this bylaw has been given and a public hearing has been held in accordance with the Act;

THEREFORE: the Council of the City of Leduc in the Province of Alberta duly assembled hereby enacts as follows:

PART III: APPLICATION

1. **THAT:** Schedule "A" of Bylaw No. 572-2004, the Robinson Area Structure Plan, be amended in accordance with the attached Schedule "A".

PART III: ENACTMENT

2. This Bylaw shall come into force and effect when it receives Third Reading and is duly signed.

READ A FIRST TIME IN COUNCIL THIS _____ OF _____, AD 2019.

READ A SECOND TIME IN COUNCIL THIS _____ DAY OF _____, AD 2019.

READ A THIRD TIME IN COUNCIL AND FINALLY PASSED THIS _____ DAY OF _____, AD 2019.

Robert Young
MAYOR

Sandra Davis
CITY CLERK

APPROVED
As to Form
B. L

City Solicitor

Date Signed

City of Leduc

Robinson Area Structure Plan Amendment



Prepared for Beaverbrook Leduc Ltd.
by IBI Group
November 2018

Table of Contents

1	Introduction	1
1.1	Proposed Amendment Summary.....	1
1.2	Plan Purpose	1
1.3	Plan Location	1
2	Plan Context.....	2
2.1	City of Leduc Municipal Development Plan	2
2.1.1	Residential Development	2
2.1.2	Housing	2
2.1.3	Recreation & Open Space	3
2.2	Site Features.....	3
3	Land Use Concept	4
3.1	Neighbourhood Design Rationale.....	4
3.2	Residential	4
3.2.1	Low Density Residential.....	4
3.2.2	Medium Density Residential	5
3.2.3	Residential Density	5
3.3	Parks & Open Space	5
3.4	Schools & Student Generation	6
4	Transportation & Utilities.....	7
4.1	Transportation Network.....	7
4.2	Servicing Infrastructure	7
4.2.1	Stormwater Management.....	7
4.2.2	Water Service.....	7
4.2.3	Sanitary Sewer.....	7
4.3	Development Staging.....	8

1 Introduction

The plan area of the Robinson Area Structure Plan (ASP) is located in the southeast corner of the City of Leduc. These lands are part of the City's expansion area annexed in 1999 to accommodate Leduc's growth in an orderly and controlled manner.

1.1 Proposed Amendment Summary

The Robinson Area Structure Plan was originally approved as Bylaw 572-2004 in 2004. In 2013, an amendment to the plan was approved to update the neighbourhood name to Robinson as Bylaw 822-2013. Development of the area is well underway with almost half of the plan area undergoing development or under completion.

This amendment is submitted on behalf of Beaverbrook Leduc Ltd. and proposes to:

- extend the east/west Robinson Boulevard collector road west of Robinson Drive and delete the south portion of Robinson Drive that connects to Township Road 493;
- re-distribute the medium residential density sites with one site relocated north of the intersection of Robinson Drive/ Robinson Boulevard and one site reconfigured at the southwest corner of the plan area along C.W. Gaetz Road; and
- reconfigure the southwest park site.

The focus of the proposed amendment is in the south sector of the plan area.

1.2 Plan Purpose

The purpose of this proposed amendment is to redistribute land uses and reconfigure the road network to allow orderly and efficient development and transportation patterns.

An ASP is a statutory document that provides guidelines for development of a specific area in order to allow for redistricting and subdivision application approval, and as such is required to be amended when significant changes are proposed.

This ASP amendment has been prepared on behalf of the registered owner of the property, Beaverbrook Leduc Ltd.

1.3 Plan Location

The plan area totals 64.61 hectares and is comprised of the southwest quarter section 19-49-24-W4. As shown on **Exhibit 1** - Local Setting, the plan area is located in the southeast corner of the City, bounded by the city boundary on the east and south. C.W. Gaetz Road exists on the western edge of the property and Rollyview Road (Highway 623) is located approximately 800 metres to the north. The developing residential neighbourhood of Meadowview Park lies to the west of C.W. Gaetz Road.

Development in the north portion of the neighbourhood is well underway and has been subdivided according to the originally approved Robinson ASP.

Exhibit 1 shows an aerial view of the plan area and context.

2 Plan Context

Statutory Context

2.1 City of Leduc Municipal Development Plan

The future direction and pattern of growth has been established by the adoption of the City's Municipal Development Plan (MDP), Bylaw No. 934-2016 as approved by City Council in August 2016. The following is an overview of applicable MDP policies.

2.1.1 Residential Development

- *"ensuring that all new residential subdivision and site plans conform to the City of Leduc Neighbourhood Design Guidelines".*

This proposed amendment does not significantly change the approved community design that includes a central focal point consisting of a central stormwater pond and corresponding municipal reserve that provides visual interest, green space and passive recreation opportunities. This proposed amendment to the Robinson ASP has been prepared in accordance with the City of Leduc Neighbourhood Design Guidelines.

- *"protecting and creating access to adjacent neighbourhoods, natural amenities, open space, and the Multiway system".*

The land use concept plan includes several park sites distributed throughout the plan area including a significant park site located in the northeast area, a park site in the southeast corner which corresponds to a tree stand and a central stormwater pond amenity with adjacent park sites.

2.1.2 Housing

- *"acknowledging new trends in household formation (e.g., smaller households) in the design of new residential neighbourhoods and the provision of a variety of housing types";*
- *"requiring that all new residential Area Structure Plans provide a variety of housing types including, where appropriate, types such as single-detached, semi-detached, duplex, triplex, fourplex, townhouses, or apartment dwellings..."*

The residential land use concept contained in this amendment proposes a mix of both single family and multiple family housing forms.

- *"supporting the provision of affordable market and financially supported housing in all new neighbourhoods;"*

In the developed area of Robinson, there is a range of lot widths and types including duplex, townhouses and single-family dwellings that appeal to a diversity of lifestyles and income levels. It is anticipated that this range of choices will continue with future stages, as well as the development of various product types that meet market demand. This may include zero line lots, narrow lots and other low density lot types that particularly respond to market demand for affordable housing products.

2.1.3 Recreation & Open Space

- *“ensuring that all new residential neighbourhoods have full access to... open space, recreational facilities, and educational institutions”.*

The Robinson ASP includes a number of park sites of varying sizes as well as an extensive open space system surrounding the stormwater management facility (SWMF) and a municipal reserve lot in the southeast to provide opportunity to retain an existing tree stand. The existing built elements include a central playground, toboggan hill and outdoor community ice rink. The plan proposes to link all developed and proposed open space elements for the plan area.

This plan includes an extensive pedestrian network, connecting the central SWMF with the neighbourhood park sites through use of sidewalks and walkway connections. This local pedestrian network provides the opportunity to link to the multi-way system located across C.W. Gaetz Road as well as the parks and open spaces of Robinson. Connectivity to the southeast park site is maintained through walkway connections from residential areas, as well as from Robinson Boulevard.

Site Context

2.2 Site Features

The site conditions for the ASP area are generally unchanged. The north half of Robinson is almost fully constructed with grading and construction activities taking place for future stages. **Exhibit 1** provides an aerial view of the plan area and the surrounding lands in the summer of 2017 that shows the ongoing progress of development.

3 Land Use Concept

3.1 Neighbourhood Design Rationale

This proposed amendment proposes a change in the neighbourhood design to achieve a connected and walkable neighbourhood while enabling a more efficient road network. Walkable design has been given careful consideration in this plan through maintaining the multi-way trail along Robinson Drive with connections to the walkway system throughout the plan area, around the centrally located SWMF and the southeast park site.

The residential land uses comprise a range of housing types and forms including low density single detached homes to medium density housing. One medium density housing site is proposed to be located at the west perimeter of the plan area with direct access to the C.W. Gaetz Road thereby reducing traffic internal to the neighbourhood. The second medium density housing site located at the intersection of Robinson Drive and Robinson Boulevard is to be conveniently accessed by the collector road system.

Direct public access and views to the centrally located SWMF are maintained and provided through visual and physical connectivity from Robinson Boulevard.

The proposed Land Use Concept is illustrated in **Exhibit 2** and the associated Land Use Summary is presented in **Table 1**.

3.2 Residential

3.2.1 Low Density Residential

Residential land uses predominate the plan area and make up about eighty (80) percent of the plan's developable area.

The Robinson ASP provides the flexibility to provide a range of housing choices based on market demand. Residential Narrow Lot (RNL), Residential Shallow Lot (RSL) and Residential Standard (RSD) will be used for low density housing products. Other districts that allow this type of products may be used to enable a greater diversity of product types. This will help to create affordability for different levels of income and lifestyle choices. The LDR allows for single detached, duplex, triplex, fourplex and fee-simple townhouse development.

Direct Control (DC) Districts may be explored and advanced to enable the development of specialized low density housing products.

Table 1 shows that the proposed low density residential area totals 45.11 hectares, corresponding to a potential of 1,290 residential dwelling units, of which 17.73 hectares and 468 units have been approved and subdivided. At an estimated 2.7 persons per dwelling unit, the resulting population for the plan area is 3,481 people. This estimated number of low density housing units corresponds to 87% of the total number of proposed dwellings within the ASP.

3.2.2 Medium Density Residential

This amendment proposes relocating the two medium density residential sites as to allow better access from collector roads as well respond to market demand with respect to site size and configuration.

In total, 2.25 hectares of land are proposed for medium density housing forms which could yield approximately 191 dwelling units. The Plan proposes two medium density residential sites and a corresponding density estimate of 85 units per hectare as shown in the density calculations reported in **Table 1 - Land Use Summary**. Using an average household size of 2.2 persons, the medium density residential component of this community could generate a total of 421 people.

The medium density sites will provide opportunities to develop townhouses or apartment dwellings under the Mixed Use Neighbourhood (MUN) and Mixed Use Comprehensive (MUC) districts.

3.2.3 Residential Density

As proposed under this amendment, the total number of all types of residential units is estimated to be 1,481, which corresponds with a population projection of 3,902 persons. A plan area population density of 82.4 persons per net residential hectare could be achieved at the full build-out of this residential community.

As reflected in **Table 1 - Land Use Summary** the overall density of the plan area has been updated to state the density in the context of net residential area (Dwelling Units Per Net Residential Hectare). This results in an increase in Dwelling Units Per Net Residential Hectare (DUPNRH) to 31.3.

3.3 Parks & Open Space

In order to enhance access to, and provide more equitable availability of park space, this amendment proposes several changes to the park distribution in the ASP as shown in **Exhibit 3 - Open Space & Walkways**.

The Plan includes a number of proposed and developed park sites throughout the neighbourhood. These sites include the fully developed central SWMF feature with view point parks, totaling 1.19 hectares; a 2.96 hectare site in the northeast; a proposed 2.16 hectare parcel to retain a tree stand in the southeast corner of the neighbourhood; and two small developed sites in the north portion of the plan area totalling 0.15 hectares. Existing developed parks and built amenities include a skating rink, toboggan hill and playground to promote a sense of community.

These described park areas comprise a total of 6.46 hectares, which represents the complete 10% Municipal Reserve dedication requirement for the plan area.

A walkway system around the stormwater facility and a substantial network of multi-ways and walkway linkages throughout this neighbourhood will be provided in addition to the park land dedications. The proposed parks, open space system and network of multi-ways and walkway linkages are shown in **Exhibit 3**.

3.4 Schools & Student Generation

There are no plans to locate a school within the Robinson neighbourhood, as determined by the local School Boards. The developing Meadowview Park neighbourhood to the west includes a future school site to accommodate an elementary school and associated playing fields. The future school site is located in the south portion of Meadowview Park and therefore situated relatively close to this neighbourhood.

The following table is an update of the student generation statistics for the plan area.

Table 2 - Estimated Student Generation

	Kindergarten/ Elementary	Junior High	Senior High	Total Estimated Students
Public	472	101	53	625
Separate	254	54	29	337
Total Students (Distribution)	726 (75.4%)	155 (16.1%)	82 (8.5%)	962 (100.0%)

Student Generation Assumptions:

Black Gold School District estimates that each residential dwelling will generate 0.65 students.

The Public School System estimates the capture of 65% of students generated.

4 Transportation & Utilities

4.1 Transportation Network

The plan proposes two key changes to the roadway network:

- extension of the collector road, Robinson Boulevard from C.W. Gaetz Road to the east edge of the plan area; and
- deletion of the south portion of Robinson Drive connecting to Township Road 493.

This ASP recognizes the requirement to accommodate future roadways and/or widening of existing roads. **Exhibit 4** has been updated to reflect changes to the road network for the plan area.

The proposed changes to the roadway network will enable an efficient and economical roadway configuration that responds to future, logical land development patterns and the provision of vehicular, pedestrian and cyclist access.

Road right-of-way widths and cross sections will be designed and developed to City of Leduc's standards, recognizing the opportunity to modify the design as these standards may change in the future. C.W. Gaetz Road will be completed as a development requirement and shall be built to a major collector standard which includes both multiway and sidewalk.

4.2 Servicing Infrastructure

The Servicing **Exhibits 5, 6 and 7** have been updated to include the utility pipe sizes and preliminary local road alignments.

4.2.1 Stormwater Management

The SWMF has been fully developed in the initial stages of development in the plan area.

Exhibit 5 - Stormwater Management shows the stormwater system proposed for the plan area in the context of the proposed plan amendment.

4.2.2 Water Service

A 250 mm watermain southeast of McKay Close in the Meadowview Park neighbourhood located to the west, has been extended to the ASP lands. A combination of this watermain and a 350 mm watermain extension from Meadowview Park are required to provide adequate fire flows for single family residential and multi-family residential developments.

Exhibit 6 - Water Service, shows the general layout of the existing and future water distribution system proposed by this ASP.

4.2.3 Sanitary Sewer

A 375 mm sanitary sewer main has been extended from southeast of McKay Close in the adjacent Meadowview Park neighbourhood south to the Plan area and services the entire neighbourhood. **Exhibit 7 – Sanitary Sewer Services** shows the proposed sanitary sewer configuration for the existing and future system.

4.3 Development Staging

As shown in **Exhibit 8**, Stages 1 through 7 have been constructed and completed. **Exhibit 8** has been updated to show the anticipated general direction and progress of development in the Robinson plan area.

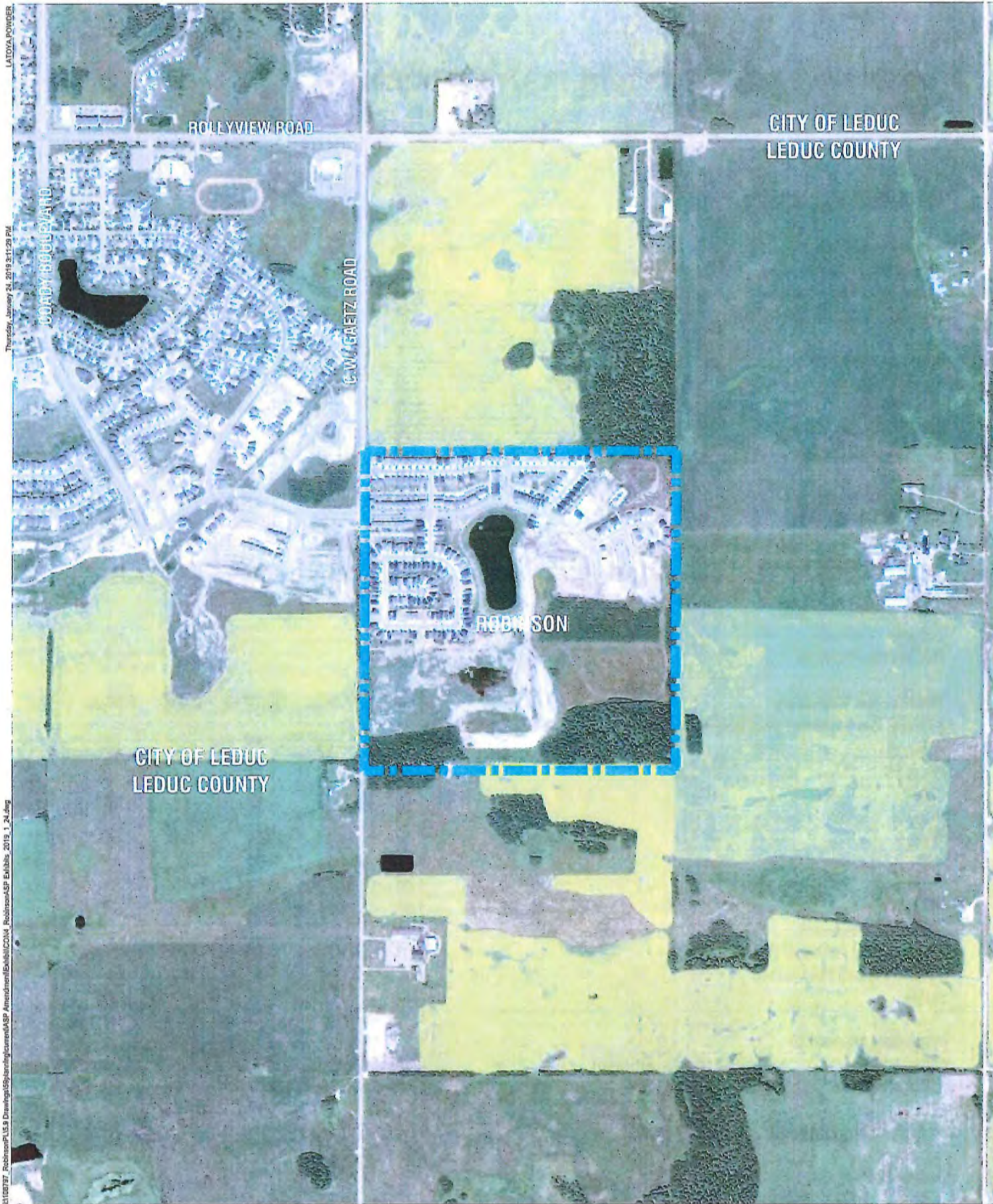
The timing of the proposed development stages will respond to and be dictated by market demand.

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ROBINSON AREA STRUCTURE PLAN AMENDMENT

Table 1 - Land Use Summary

	Hectares	Acres	Percent		
Gross Developable Area	64.61	159.65	100.0%		
Arterial Road Dedication	2.09	5.16	3.2%		
Range Road 250 Widening	0.19	0.47	0.3%		
Storm Water Management, PUL	3.55	8.77	5.5%		
Municipal Water Reservoir, PUL	0.72	1.78	1.1%		
Municipal Reserve					
NE Park Site	2.96	7.31			
SE Wood Lot	2.16	5.34			
North Pond-side Park	0.54	1.33			
South Pond-side Park	0.65	1.61			
North Park	0.10	0.25			
Stage 3 Park	0.05	0.12			
Total Municipal Reserve	6.46	15.96	10.00%		
Gross Residential Area	51.60	127.51	79.9%		
Gross Residential Area	51.6				
Collector Roadways	4.24				
Net Residential Area	47.36				
Residential Summary	Hectares	Acres	Units/ ha	Units	People
<i>Existing Development (Registered Stages)</i>					
Stage 1a	3.88	9.59	31	120	324
Stage 1b	3.58	8.85	22	79	213
Stage 2	2.62	6.47	23	59	159
Stage 3	2.54	6.28	26	67	181
Stage 4	2.10	5.19	28	58	157
Stage 5	0.94	2.32	22	21	57
Stage 6	1.00	2.47	32	32	86
Stage 7	1.07	2.64	30	32	86
<i>Future Development</i>					
Single & Semi Detached (Low Density)	27.38	67.66	30	821	2218
Medium Density Residential	2.25	5.56	85	191	421
Totals	47.36	117.03		1481	3902
Proposed Densities					
Dwelling Units Per Net Residential Hectare (du/nrha)		31.3 (du/nrha)			
Population Per Net Residential Hectare (p/nha)		82.4 persons/hectare			
Proposed Housing Mix	Units	Ratio			
Low Density	1289	87.1%			
Medium Density	191	12.9%			



ROBINSON

Area Structure Plan Amendment

EXHIBIT 1 | CONTEXT

DATE: January 24, 2019
 DESIGNED BY: GS
 DRAWN BY: GS
 CHECKED BY: CCB
 SCALE: NTS
 JOB NUMBER: 117577

CW GAETZ ROAD

ROBINSON DRIVE

SWMF

Water Reservoir






3D NEF contour line

ROBINSON DRIVE

ROBINSON BOULEVARD

TOWNSHIP ROAD 493

Legend

-  Low Density Residential
-  Medium Density Residential
-  Park
-  Public Utility Lot
-  Road Dedication

ROBINSON

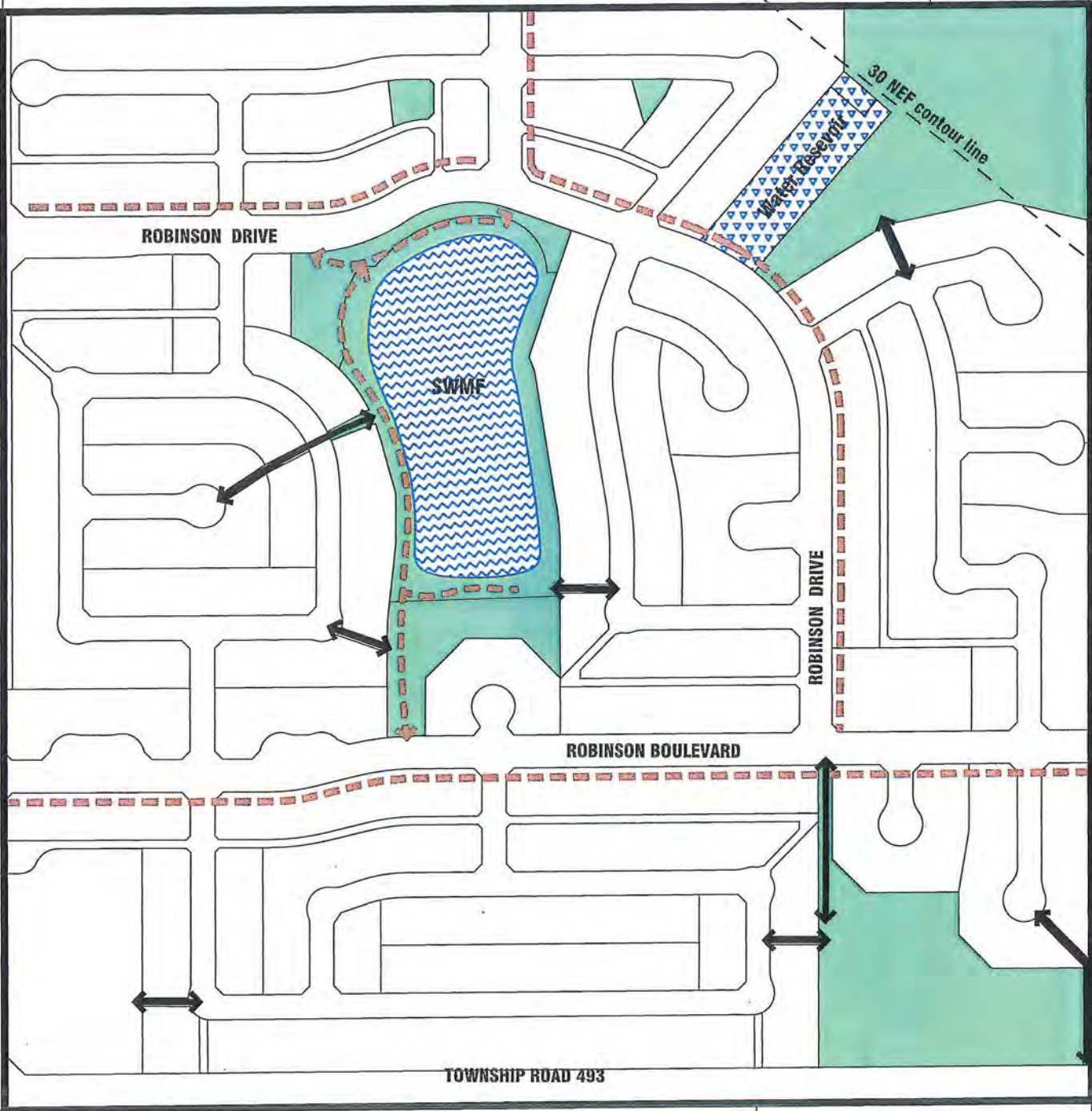
Area Structure Plan Amendment

EXHIBIT 2 | LAND USE

DATE: January 24, 2019
 DESIGNED BY: GS
 DRAWN BY: GS
 CHECKED BY: CCB
 SCALE: NTS
 JOB NUMBER: 117577



CW GAETZ ROAD



Legend

- Park/Open Space
- Storm Water Pond
- Water Reservoir
- Trail/Walkway Linkage
- Multiway

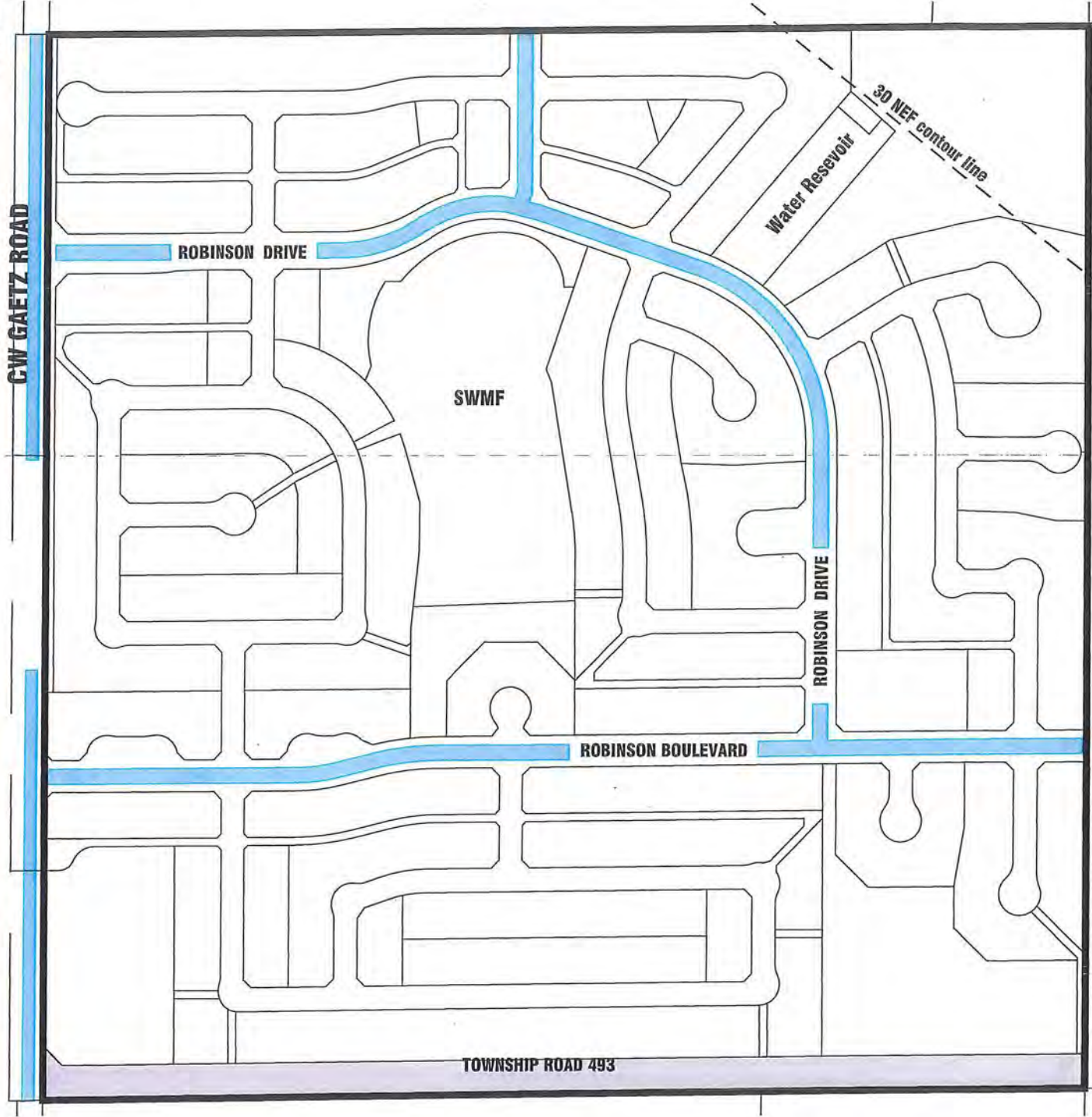


ROBINSON



Area Structure Plan Amendment

EXHIBIT 3 | OPEN SPACE AND WALKWAYS

DATE: January 24, 2019
 DESIGNED BY: GS
 DRAWN BY: GS
 CHECKED BY: CCB
 SCALE: NTS
 JOB NUMBER: 117577



Legend

-  Major Collector
-  Arterial



ROBINSON

Area Structure Plan Amendment

EXHIBIT 4 | TRANSPORTATION

DATE: January 24, 2019
DESIGNED BY: GS
DRAWN BY: GS
CHECKED BY: CCB
SCALE: NTS
JOB NUMBER: 117577





Inlet

Outlet

Existing Storm Line

Proposed Storm Line

* Storm along Township Road 493 and connection points into Robinson to be confirmed with detailed design in the future.

* Pipe Sizes Subject to Change As Detailed Engineering on Future Stages Advances

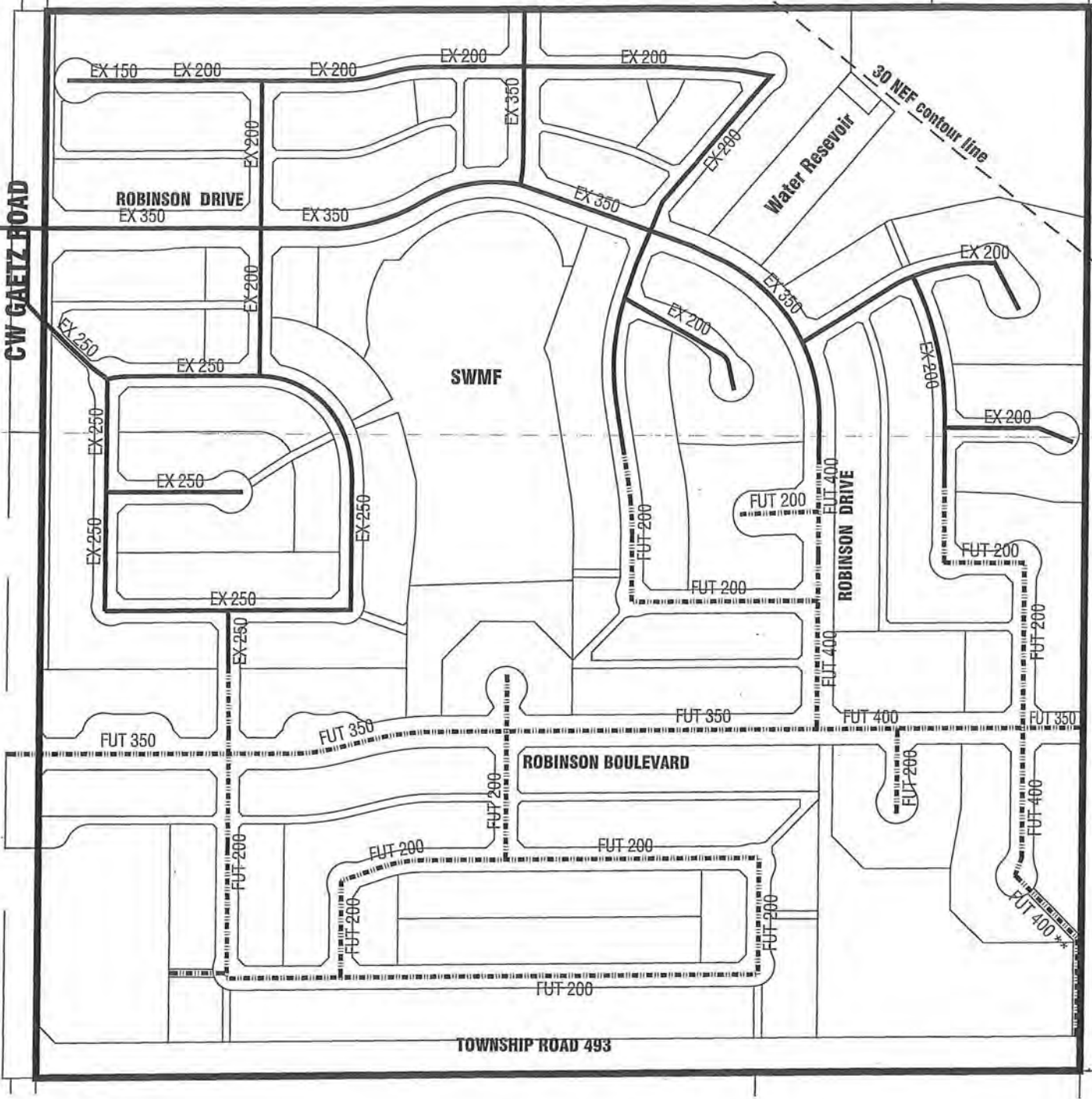
**ROBINSON**

Area Structure Plan Amendment

EXHIBIT 5 | STORM WATER MANAGEMENT

DATE: January 24, 2019
DESIGNED BY: GS
DRAWN BY: GS
CHECKED BY: CCB
SCALE: NTS
JOB NUMBER: 117577

CW GAETZ ROAD



Legend

- Existing Water Main
- - - Proposed Water Main

* Pipe Sizes Subject to Change As Detailed Engineering on Future Stages Advances
 ** Location of 400 WM Connection to TWP 493 subject to change with detail design.

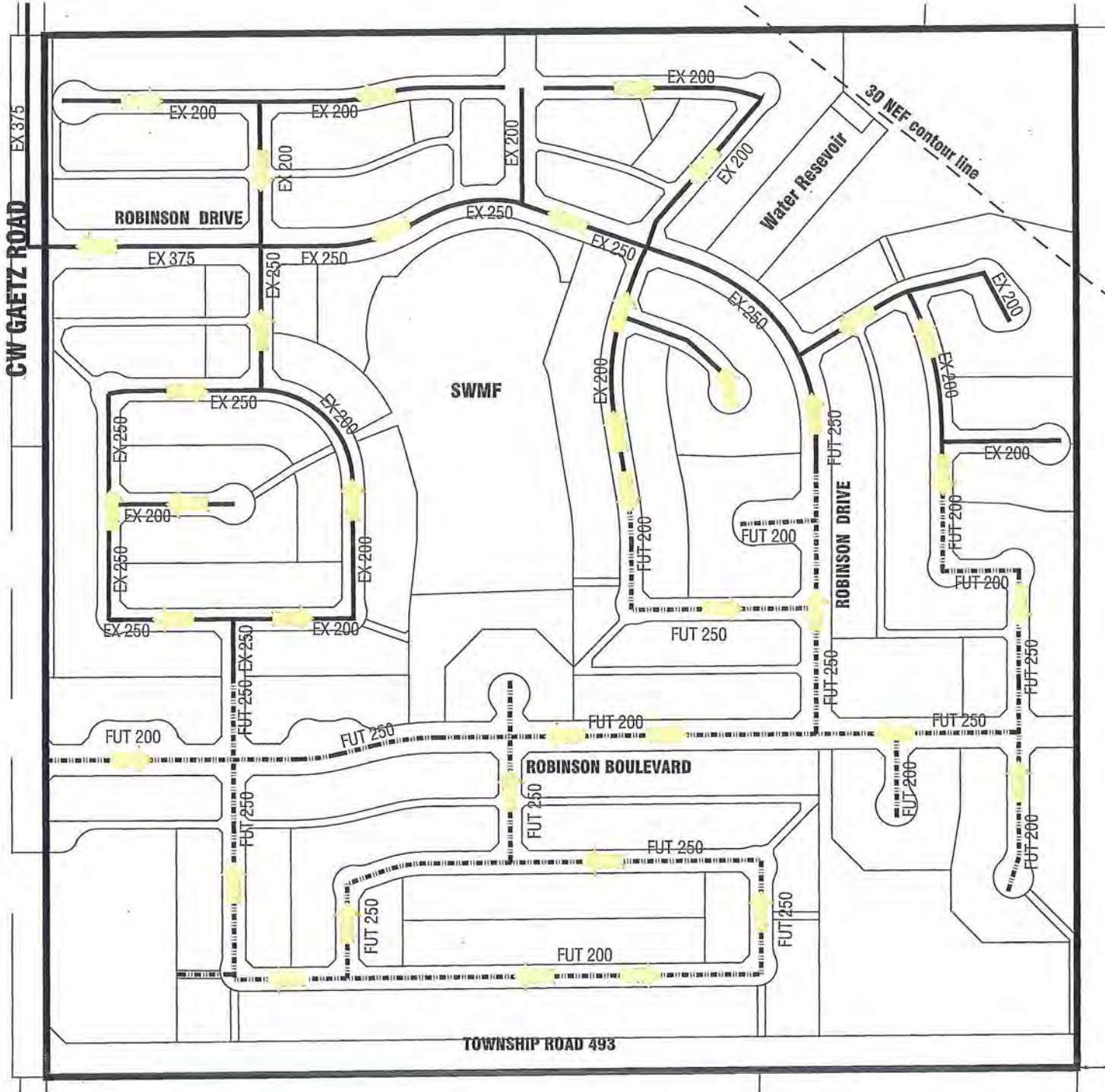


ROBINSON

Area Structure Plan Amendment

EXHIBIT 6 | WATER SERVICING

DATE: January 24, 2019
 DESIGNED BY: GS
 DRAWN BY: GS
 CHECKED BY: CCB
 SCALE: NTS
 JOB NUMBER: 117577



Legend

- Direction of Flow
- Existing Sanitary Sewer
- Proposed Sanitary Sewer

* Pipe Sizes Subject to Change As Detailed Engineering on Future Stages Advances

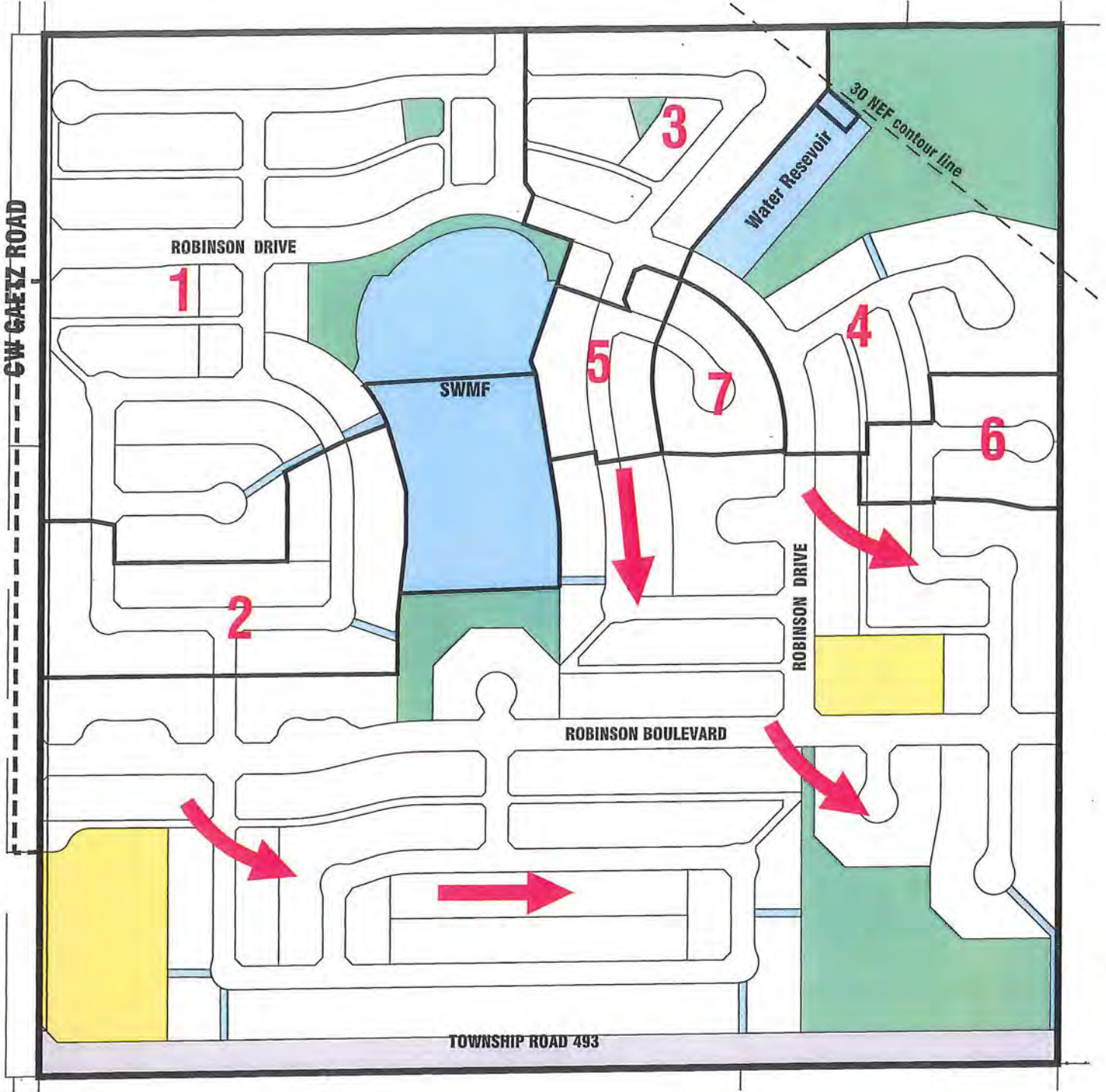


ROBINSON

Area Structure Plan Amendment

EXHIBIT 7 | SANITARY SEWER SERVICE

DATE:	January 24, 2019
DESIGNED BY:	GS
DRAWN BY:	GS
CHECKED BY:	CCB
SCALE:	NTS
JOB NUMBER:	117577



Legend

- Low Density Residential
- Medium Density Residential
- Park
- Public Utility Lot
- Road Dedication

- Direction of Development
- Existing Stages

* Size and Order of Staging is subject to change as Development Progresses



ROBINSON

Area Structure Plan Amendment

EXHIBIT 8 | DEVELOPMENT STAGING

DATE: January 24, 2019
 DESIGNED BY: GS
 DRAWN BY: GS
 CHECKED BY: CCB
 SCALE: NTS
 JOB NUMBER: 117577



Legend

- Low Density Residential
- Medium Density Residential
- Park
- Public Utility Lot
- Road Dedication

PRELIMINARY DESIGN SUBJECT TO CHANGE



April 2013

Robinson
Area Structure Plan
Exhibit 4
Land Use



CW GAETZ ROAD

ROBINSON DRIVE

SWMF

Water Reservoir

30 NEF contour line

ROBINSON DRIVE

ROBINSON BOULEVARD

TOWNSHIP ROAD 493

Legend

- Low Density Residential
- Medium Density Residential
- Park
- Public Utility Lot
- Road Dedication



ROBINSON

Area Structure Plan Amendment

EXHIBIT 2 | LAND USE

DATE: January 24, 2019
 DESIGNED BY: GS
 DRAWN BY: GS
 CHECKED BY: CCB
 SCALE: NTS
 JOB NUMBER: 117577



COUNCIL REQUEST FOR DECISION

MEETING DATE: March 11, 2019

SUBMITTED BY: Darrell Melvie, General Manager, Community and Protective Services

PREPARED BY: Cameron Chisholm, Manager, RCMP Administration and Enforcement Services

REPORT TITLE: Bylaw No. 1007-2018 - False Alarms Bylaw

REPORT SUMMARY

Proposed Bylaw No. 1007-2018 False Alarms Bylaw which will replace the existing False Alarm Bylaw No. 757-2010.

RECOMMENDATION

1. That Council amend Bylaw No. 1007-2018 by inserting under section 24 an effective date of September 1, 2019.
2. That Council give Bylaw No. 1007-2018 second reading as amended.
3. That Council give Bylaw No. 1007-2018 third reading as amended.

BACKGROUND

KEY ISSUE(S) / CONTEXT:

The occurrence of false alarms in our community impacts policing resources. Alarms require a police response yet approximately 95 to 98 percent of alarms received are false alarms. This results in the diversion of valuable policing resources that can otherwise remain available for valid calls for police help.

The RCMP changed false alarm response policy in July 2018 and only respond now to alarms where is likely criminal activity. Cases of a single "hit" on one sensor are screened out unless the location is high risk. This has resulted in a 35% drop in false alarm reports in a similar period one year prior (July 13 – December 31, 2017 and same date range in 2018). There still remains a need to have an improved bylaw dealing with false alarms as there are cases of numerous locations that still have had repeat false alarms after the RCMP policy change.

LEGISLATION AND/OR POLICY:

The City of Leduc currently has Bylaw No. 757-2010 which covers false alarms. There is no administrative policy in place for this bylaw for Leduc Enforcement Services at this time.

PAST COUNCIL CONSIDERATION:

On January 28, 2019, Bylaw No. 1007-2018 was given first reading by Council at its regular meeting.

IMPLICATIONS OF RECOMMENDATION

GENERAL:

The proposed bylaw will improve efficiency and effectiveness of issues of repeat false alarms in the City of Leduc. This bylaw, in concert with the RCMP policy change, will assist in reducing police resources related to false alarms.

ORGANIZATIONAL:

Detachment Municipal Clerks will be required to review RCMP reports for occurrences of repeat false alarms on a regular basis and notify Enforcement Services of instances warranting further action. In order to be effective, this will have to be done on a regular basis. This activity has not been ongoing since Administration started to review the current bylaw. Given that the proposed bylaw will be only utilized in cases of multiple repeat offences, the impact on other City Departments will be insignificant (i.e. Collection of Municipal tags by Finance).

FINANCIAL:

Costs for communications relating to implementation and public awareness of the bylaw would be less than \$1500. These costs will come from the existing Enforcement Services advertising budget.

POLICY:

The addition of an internal Enforcement Services policy which will assist and guide officers and support staff in providing a consistent approach to enforcement of the bylaw and new fine amounts.

LEGAL:

The implementation of this proposed bylaw will enhance the ability of the City of Leduc in dealing with false alarms by having a structured educational and tiered enforcement approach to repeat violations. There is the possibility that an individual charged with an offence could plead not guilty which would result in a trial. Prosecution costs would be the responsibility of the City given that is a municipal bylaw charge. This liability exists with all municipal bylaws but given the higher fines are being proposed as a deterrent, there could be more of an interest by an accused for a trial. The presumption clause in the proposed bylaw could generate a court challenge given that there is an onus on the accused to prove that it wasn't a false alarm in any defense.

IMPLEMENTATION / COMMUNICATIONS:

A communications plan has been created which will inform the public on the new bylaw and the issues relating to false alarms and police resources. Once the bylaw is passed by Council, there will be a focus on education for the first six months prior to any consideration for enforcement. Bylaw is to take effect September 1st, 2019.

ALTERNATIVE(S):

Status quo – Utilize existing bylaw, increase public awareness on issue and accept reduce levels of false alarms based on RCMP policy change.

ATTACHMENTS:

1. False Alarms Bylaw

Others Who Have Reviewed this Report

P. Benedetto, City Manager / B. Loewen, City Solicitor / D. Melvie, General Manager, Community & Protective Services

Bylaw No. 1007-2018 FALSE ALARMS BYLAW

PAGE 1

A BYLAW OF THE CITY OF LEDUC IN THE PROVINCE OF ALBERTA, TO ESTABLISH FINES FOR POLICE RESPONSE TO FALSE ALARMS

WHEREAS, pursuant to section 7 of the *Municipal Government Act*, R.S.A. 2000, c. M-26, as amended, a Council may pass bylaws for municipal purposes respecting the safety, health and welfare of people and the protection of people and property;

AND WHEREAS false alarms requiring unnecessary emergency responses pose a threat to the safety of law enforcement personnel and the public by creating unnecessary hazards and delaying attendance at genuine emergencies, and result in considerable unnecessary expense;

AND WHEREAS Council of the City of Leduc considers it desirable and necessary to reduce false alarms;

NOW THEREFORE, the Council of the City of Leduc, in the Province of Alberta, duly assembled enacts as follows:

PART I: DEFINITIONS AND INTERPRETATION

BYLAW TITLE

1. This Bylaw shall be known as "The False Alarms Bylaw".

PURPOSE

2. The purpose of this bylaw is to regulate the use of Alarm Systems in the City of Leduc in order to limit the number of False Alarms.

DEFINITIONS

3. In this Bylaw, unless the context otherwise requires:

- (a) **"Alarm System"** means any device which detects an unauthorized entry to, or an emergency on, a premises, but does not include a device solely designed to warn of active threats to personal safety;
- (b) **"City Manager"** means the chief administrative officer of the City of Leduc or his delegate;
- (c) **"False Alarm"** means the activation of an Alarm System which results in the notification of a Peace Officer when there is:

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B. L

City Solicitor

**Bylaw No. 1007-2018
FALSE ALARMS BYLAW**

PAGE 2

- (i) no unauthorized entry or attempted entry to a premises, or
- (ii) no other situation requiring the attendance of a Peace Officer at a premises;
- (d) **"Alarm Monitor"** means a person who monitors or in any other way deals with Alarm Systems; and
- (e) **"Peace Officer"** means a police officer or member of a police service under the *Police Act*, R.S.A. 2000, c. P-17, as amended.

RULES FOR INTERPRETATION

- 4. The marginal notes and headings in this bylaw are for reference purposes only.

PART II: ALARMS

NO FALSE ALARMS

- 5. No person shall cause or permit an Alarm System to issue a False Alarm on property they own or occupy.

REASONABLE STEPS

- 6. (1) An Alarm Monitor shall take all reasonable steps to ensure that a report of an activated Alarm System is not a False Alarm prior to taking any steps to notify a Peace Officer.
- (2) Reasonable steps in subsection (1) include, but are not limited to:
 - (a) consideration of the history of notifications from the premises;
 - (b) consideration of the facts surrounding the notification; and
 - (c) attempts to contact the owner or occupant of the property on which the Alarm System is installed.

PART III: ENFORCEMENT

OFFENCE

- 7. A person who contravenes this bylaw is guilty of an offence.

**Bylaw No. 1007-2018
FALSE ALARMS BYLAW**

PAGE 3

CONTINUING OFFENCE

8. In the case of an offence that is of a continuing nature, a contravention constitutes a separate offence in respect of each day, or part of a day, on which it continues and a person guilty of such an offence is liable to a fine in an amount not less than that established in this bylaw for each such day.

VICARIOUS LIABILITY

9. For the purposes of this bylaw, an act or omission by an employee or agent of a person is deemed also to be an act or omission of the person if the act or omission occurred in the course of the employee's employment with the person, or in the course of the agent exercising the powers of or performing duties on behalf of the person under their agency relationship.

CORPORATIONS AND PARTNERSHIPS

10. (1) When a corporation commits an offence under this bylaw, every principal, director, manager, employee or agent of the corporation who authorized the act or omission that constitutes the offence or assented to or acquiesced or participated in the act or omission that constitutes the offence is guilty of the offence whether or not the corporation has been prosecuted for the offence.
- (2) If a partner in a partnership is guilty of an offence under this bylaw, each partner in that partnership who authorized the act or omission that constitutes the offence or assented to or acquiesced or participated in the act or omission that constitutes the offence is guilty of the offence.

FINES AND PENALTIES

11. (1) A person who is guilty of an offence is liable to a fine in an amount not less than that established in this section, and not exceeding \$10,000, and to imprisonment for not more than six months for non-payment of a fine.
- (2) Without restricting the generality of subsection (1), the following fine amounts are established for use on violation tickets if a voluntary payment option is offered:
- (a) \$500 for an offence pursuant to section 5; and
 - (b) \$250 for any other offence.

**Bylaw No. 1007-2018
FALSE ALARMS BYLAW**

PAGE 4

MUNICIPAL TAG

12. Notwithstanding section 11, if a municipal tag is issued in respect of an offence the municipal tag must specify the following fine amounts:
- (a) \$250 for an offence pursuant to section 5; and
 - (b) \$125 for any other offence.

PAYMENT IN LIEU OF PROSECUTION

13. A person who commits an offence may, if a municipal tag is used in respect of the offence, pay the fine amount established by section 12, and if the amount is paid on or before the date specified on the municipal tag, the person will not be prosecuted for the offence.

VIOLATION TICKET

14. If a violation ticket is issued in respect of an offence, the violation ticket may:
- (a) specify the fine amount established in section 11 for the offence; or
 - (b) require the person charged to appear in court without the alternative of making a voluntary payment.

VOLUNTARY PAYMENT

15. A person who commits an offence may:
- (a) if a violation ticket is issued in respect of the offence; and
 - (b) if the violation ticket specifies the fine amount established in section 11 for the offence;
- make a voluntary payment equal to the specified fine.

DISCRETION

16. (1) A Peace Officer, or other person authorized by the City Manager, may, in their full discretion, issue any of the following instruments for suspected breaches of this bylaw:
- (a) a warning;
 - (b) a municipal tag;
 - (c) a violation ticket with a specified fine; or

**Bylaw No. 1007-2018
FALSE ALARMS BYLAW**

PAGE 5

(d) a violation ticket requiring the person charged to appear in court.

(2) The following factors must be considered in the exercise of discretion pursuant to subsection (1):

- (a) the nature or consequences of the offence;
- (b) the number of previous convictions of the person charged;
- (c) the number of previous warnings, municipal tags, or violation tickets issued to the person charged; and
- (d) any other factors specified by the City Manager.

PART IV: GENERAL

OBSTRUCTION

17. A person shall not obstruct or hinder any person in the exercise or performance of the person's powers pursuant to this bylaw.

COPIES OF RECORDS

18. A copy of a record in care and control of the City Manager, certified by the City Manager as a true copy of the original, shall be admitted in evidence as *prima facie* proof of the facts stated in the record without proof of the appointment or signature of the person signing it.

EVIDENCE BY AFFIDAVIT

19. (1) In a prosecution for an offence pursuant to section 5, a Peace Officer may provide evidence by way of affidavit.

(2) An affidavit pursuant this section is proof, in the absence of evidence to the contrary, of the facts stated in the affidavit.

(3) The defendant may, with the permission of the court, require the attendance of any person giving evidence by affidavit pursuant to this section for the purpose of cross examination.

PRESUMPTION

20. The activation of an Alarm System is presumed to be a False Alarm, unless a Peace Officer:

**Bylaw No. 1007-2018
FALSE ALARMS BYLAW**

PAGE 6

- (a) attends at the premises; or
- (b) investigates the premises;

in response to the activation of the Alarm System.

DUE DILIGENCE

21. A court may dismiss a charge against a person charged with an offence pursuant to this bylaw if the person satisfies the court that the offence could not have been avoided by the exercise of reasonable care or precaution.

POWERS OF THE CITY MANAGER

22. Without restricting any other power, duty or function granted by this bylaw the City Manager may:
- (a) establish forms for the purposes of this bylaw;
 - (b) carry out any inspections necessary to determine compliance with this bylaw;
 - (c) take any steps or carry out any actions necessary to enforce this bylaw;
 - (d) set out any policies to guide the exercise of enforcement discretion; and
 - (e) delegate any powers, duties or functions under this bylaw to an employee of the corporation of the City of Leduc.

REPEAL

23. This Bylaw repeals Bylaw No. 757-2010.

**Bylaw No. 1007-2018
FALSE ALARMS BYLAW**

PAGE 7

PART V: ENACTMENT

COMING INTO FORCE

24. This Bylaw shall come into force on September 1, 2019.

READ A FIRST TIME IN COUNCIL THIS ____ DAY OF _____, 2019.

READ A SECOND TIME IN COUNCIL THIS ____ DAY OF _____, 2019.

READ A THIRD TIME IN COUNCIL AND FINALLY PASSED THIS ____ DAY OF _____, 2019.

Bob Young
MAYOR

Sandra Davis
CITY CLERK

Date Signed

COUNCIL REQUEST FOR DECISION

MEETING DATE: March 11, 2019

SUBMITTED BY: Jennifer Cannon – Director, Finance

PREPARED BY: Melinda Smith – Tax Specialist, Revenue Services

REPORT TITLE: Bylaw No. 1020-2019 - 2019 Supplementary Assessment Bylaw

REPORT SUMMARY

To consider adopting the 2019 Supplementary Assessment Bylaw No. 1020-2019.

RECOMMENDATION

1. That Council give Bylaw No. 1020-2019 First Reading.
2. That Council give Bylaw No. 1020-2019 Second Reading.
3. That Council unanimously agrees to consider Bylaw No. 1020-2019 for Third Reading.
4. That Council give Bylaw No. 1020-2019 Third Reading.

BACKGROUND

KEY ISSUE(S) / CONTEXT:

A municipality may prepare an assessment (supplementary assessment) for any improvements that are completed or occupied during the current taxation year, that were not included in the current year's assessment and tax notice. The supplementary assessment and tax notices are issued in November. As land is already included in the assessment and tax notice, a supplementary assessment applies only to buildings.

The municipal and education tax rates for the current year are applied to the supplementary assessment with resulting tax pro-rated based on the number of months the improvement to the building has been completed and occupied to the end of December.

Supplementary assessment and tax provides equity among city tax payers. When new homes and buildings are completed, additional City services are likely requested and consumed. Supplementary tax contributes towards the current year's cost of providing these services to all tax payers.

LEGISLATION AND/OR POLICY:

The proposed Bylaw is being brought forward to comply with the Municipal Government Act (Section 313), which requires a municipality to pass a supplementary property assessment bylaw each year prior to May 1 to authorize the municipality to carry out a supplementary assessment. The purpose of this Bylaw remains the same as its predecessor.

PAST COUNCIL CONSIDERATION:

Predecessor – 2018 Supplementary Assessment Bylaw No. 974-2018 approved on March 12, 2018.

CITY OF LEDUC PLANS:

N/A

IMPLICATIONS OF RECOMMENDATION

GENERAL:

This Bylaw provides the City with the ability to assess and tax new buildings and/or building improvements for the portion of the year in which they were completed or occupied that were not included in the current year's assessment and tax notice.

ORGANIZATIONAL:

No organizational implications.

FINANCIAL:

The supplementary property tax budget amount for 2019 is \$75,000 for Residential and \$75,000 for Non-Residential. Failure to continue this equitable practice will result in loss of budgeted revenue.

POLICY:

No policy implications.

LEGAL:

The MGA section 313(1) states that if a municipality wishes to require the preparation of supplementary assessments for improvements, the Council must pass a supplementary assessment bylaw authorizing the assessments to be prepared for the purpose of imposing a tax under Part 10 in the same year.

IMPLEMENTATION / COMMUNICATIONS:

No implementation / communications recommended.

ALTERNATIVES:

No alternatives listed.

ATTACHMENTS:

1. 2019 Supplementary Assessment Bylaw 1020-2019.

Others Who Have Reviewed this Report

D. Melvie, Acting City Manager / B. Loewen, City Solicitor / I. Sasyniuk, General Manager, Corporate Services / Jennifer Cannon, Director, Finance

Bylaw No. 1020-2019
SUPPLEMENTARY ASSESSMENT FOR 2019 BYLAW

PAGE 1

**A BYLAW OF THE CITY OF LEDUC, IN THE PROVINCE OF ALBERTA, TO AUTHORIZE THE
PREPARATION OF SUPPLEMENTARY ASSESSMENTS FOR IMPROVEMENTS FOR 2019**

WHEREAS Section 313(1) of the *Municipal Government Act*, R.S.A. 2000, Chapter M-26, as amended or repealed and replaced from time to time, states that if a municipality wishes to require the preparation of supplementary assessments for improvements, the council must pass a supplementary assessment bylaw authorizing the assessments to be prepared for the purpose of imposing a tax under Part 10 in the same year;

AND WHEREAS The City of Leduc wishes to require the preparation of supplementary assessments for improvements for the purpose of imposing a tax;

THEREFORE the Council of the City of Leduc, in the Province of Alberta, duly assembled, hereby enacts as follows:

BYLAW TITLE

1. This bylaw shall be known as the "Supplementary Assessment for 2019 Bylaw".

APPLICATION

2. That a supplementary assessment shall be prepared for all improvements in 2019 for the purpose of imposing a tax under part 10 of the *Municipal Government Act*.

ENACTMENT

3. This Bylaw shall come into force and effect when it receives Third Reading and is duly signed.

READ A FIRST TIME IN COUNCIL THIS 11th DAY OF MARCH, AD 2019.

READ A SECOND TIME IN COUNCIL THIS 11th DAY OF MARCH, AD 2019.

UNANIMOUSLY AGREED TO PRESENT BYLAW 1020-2019 FOR THIRD READING.

READ A THIRD TIME IN COUNCIL AND FINALLY PASSED THIS 11th DAY OF MARCH, AD 2019.

APPROVED
As to Form

B. L

City Solicitor

Bob Young
MAYOR

Date Signed

Sandra Davis
CITY CLERK

MEETING DATE: March 11, 2019

SUBMITTED BY: Jennifer Cannon, Director, Finance; Shawn Olson, Director, Engineering

PREPARED BY: Gino Damo, Manager, Revenue Services

REPORT TITLE: Bylaw No. 1016-2018- Offsite Levy Southeast Boundary Road (Hwy 2A to Coady Blvd)

2nd and 3rd Reading

REPORT SUMMARY

This project is required to unlock development in South Leduc (Tribute/Meadowview) by providing access to HWY 2A and by extension HWY 2. This also helps to alleviate our increasing traffic congestion on 50th Street by giving additional routes for current Caledonia and Tribute traffic.

RECOMMENDATION

That Bylaw 1016-2018 for the debenture of funds for the construction of Southeast Boundary Road (Hwy 2A to Coady Blvd) receive 2nd and 3rd reading.

BACKGROUND

KEY ISSUE(S) / CONTEXT:

The Southwest Boundary Road project is an offsite levy project to construct the main arterial road between HWY 2A and the southern continuation of Caledonia Drive. The project will include construction of approximately 300m of 4 lane arterial roadway and a controlled CP Railway crossing, which we realigned HWY 2A in 2015 to prepare for.

This project is being completed in collaboration with Qualico, the developer of Tribute, who will be bringing on a new stage of Tribute and extending Caledonia Drive south to meet this new road. This collaboration will give Tribute and Caledonia an alternative access to HWY 2A and by extension HWY 2, allowing development to continue and redirecting 50th Street and Rollyview Road traffic.

LEGISLATION AND/OR POLICY:

The Municipal Government Act (MGA), R.S.A. 2000, Chapter M-26, as amended, grants a municipality the authority to enact a bylaw to authorize the borrowing of money for the purpose of financing the construction or improvement of a capital property. Furthermore, Section 606 and 231 of the MGA outline the requirements for advertising and the petition requirements.

PAST COUNCIL CONSIDERATION:

At the Council meeting of October 22, 2018, the following motion was approved:

The adoption of the City of Leduc 2018 Transportation Master Plan.

CITY OF LEDUC PLANS:

1. City of Leduc 2018 Transportation Master Plan
2. 2019 Operating Budget
3. 2019 to 2028 Capital Budget Plan

IMPLICATIONS OF RECOMMENDATION

GENERAL:

Up-fronting Offsite Levy Projects

As offsite levy revenue is slowing down pressures to construct infrastructure ramps up. There has been a shift in fiscal practice where the city has gone from funding offsite levy projects internally to now funding them externally through debentures (debt) as offsite levy project requirements are in excess of the reserves to fund them. While this has no financial impact on our ratepayers as the principal and interest is captured through the offsite levy rates this causes a pressure on our debt limit to further fund other capital projects with debt. It is also important to realize that levies consumed by paying for debt are the same levies that are required to pay for new projects, which is creating an increased pressure on future offsite levy projects.

Location of Southeast Boundary Road (Hwy 2A to Coady Blvd).





ORGANIZATIONAL:

There are no organizational impacts.

FINANCIAL:

The Southeast Boundary Road (Hwy 2A to Coady Blvd.) project #075.058 in the amount of \$3,750,000 is approved in the 2019 capital budget to be funded by debenture; the debenture is anticipated to be repaid over a period of 20 years. The principle and interest payment applicable to the debenture will be made by the offsite levy reserve and infused into the offsite levy model to be paid back by the developers.

POLICY:

There are no policy implications.

LEGAL:

The City of Leduc will enter into a promissory note agreement with the Alberta Capital Finance Authority (ACFA) or other financial institution. The City will have to abide to all the terms and conditions within the agreement.

IMPLEMENTATION / COMMUNICATIONS:

1. After first reading of the bylaw the municipality must publish a notice of the proposed bylaw based on estimated or tendered costs in at least one newspaper circulating within the limits of the municipality once a week for two

consecutive weeks (once in each period of seven days commencing with the date of the first publication and not once in each of two successive calendar weeks - Section 606 of the Municipal Government Act). If tendered costs are more than 15% higher than advertised costs, re-advertising may be required.

2. The electors may, within 15 days from the date of the last publication of the notice, petition Council for a vote on the money bylaw. (Refer to Section 223 of the Municipal Government Act regarding the percentage of electors that must sign the petition).
3. If a valid petition is presented to Council within the specified time period, Council may abandon the project or, if it decides to proceed with the bylaw, shall first submit the bylaw to a vote of the electors, and if assented to by the vote, may proceed.
4. If no petition for a vote is presented, the municipality may pass the borrowing bylaw.

ALTERNATIVES:

No alternatives listed.

ATTACHMENTS:

Bylaw 1016-2018.

Others Who Have Reviewed this Report

D. Melvie, Acting City Manager / B. Loewen, City Solicitor / I. Sasyniuk, General Manager, Corporate Services / M. Pieters, General Manager, Infrastructure & Planning / Jennifer Cannon, Director, Finance

Bylaw No. 1016-2018

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As to Form
B. L

PAGE 1

Code 01/09
City Solicitor

A BYLAW OF THE CITY OF LEDUC IN THE PROVINCE OF ALBERTA, TO BORROW MONEY TO FINANCE THE CONSTRUCTION OF SOUTHEAST BOUNDARY ROAD (HIGHWAY 2A TO COADY BOULEVARD).

The *Municipal Government Act*, R.S.A. 2000, Chapter M-26, as amended, grants a municipality the authority to enact a bylaw to authorize the borrowing of money for the purpose of financing the improvement of a capital property.

AND, in accordance with the Act, the City deems it necessary to undertake construction of Southeast Boundary Road (Hwy 2A to Coady Blvd).

AND based on specifications and design, the estimated total cost of the project is \$3,750,000.00 (Three Million Seven-Hundred Fifty-Thousand Dollars) whereas the expenditure for this capital project is included in the approved 2019 Budget.

AND based on the City's Offsite Levy Model, the entirety of the project is to be paid for by offsite levies;

AND projections with the Offsite Levy Model indicate that the amounts expected to be collected in transportation offsite levies during 2019 should be sufficient to fully pay for the project.

AND in order to proceed with the project now, the City must identify a method to ensure that the City will have sufficient funds available to pay for the project in the event that sufficient funds to pay for the project are not available in the Road Offsite Levy Reserve.

AND the Council has determined that the costs of the project will be paid in the first instance in the following manner:

1. <u>Debentures</u>	<u>\$3,750,000.00</u>
TOTAL COST	\$3,750,000.00

AND in order to construct and complete the said project, it will be necessary for the City of Leduc to borrow up to the sum of \$3,750,000.00 (the "indebtedness") on the terms and conditions referred to in this Bylaw whereas this borrowing will not cause the City to exceed its debt limit.

AND if additional money becomes available in the Road Offsite Levy Reserve, those additional funds shall be directed towards paying the costs of the project reducing the need to borrow the full amount of the indebtedness.

AND the City of Leduc will repay the indebtedness over a period of up to five (5) years in semi-annual installments, with interest not exceeding five per cent (5%),

Bylaw No. 1016-2018

PAGE 2

Code 02/09

or the interest rate fixed from time to time by the Alberta Capital Finance Authority, or other financial institution, per annum, payable semi-annually.

AND the amount of the existing debenture debt of the City of Leduc at December 31, 2017 is \$48,548,931 no part of which is in arrears.

AND the estimated lifetime of the project's surface is twenty (20) years and the substructure is forty (40) years; and all required approvals for the project have been obtained and the project is in compliance with all acts and regulations of the Province of Alberta whereas the term of the borrowing does not exceed the probable lifetime of the capital property.

THEREFORE, the Council of the City of Leduc in the Province of Alberta duly assembled, hereby enacts as follows:

PART I: APPLICATION

1. For the purpose of undertaking and completing construction of Southeast Boundary Road (Hwy 2A to Coady Blvd), the sum of up to Three Million Seven-Hundred Fifty-Thousand Dollars (\$3,750,000.00) be borrowed from the Alberta Capital Finance Authority, or other financial institution, by way of debenture on the credit and security of the City of Leduc at large, of which amount the sum of up to \$3,750,000.00 is to be paid by the City of Leduc at large.
2. The debentures to be issued under this bylaw shall be up to the sum of Three Million Seven-Hundred Fifty-Thousand Dollars (\$3,750,000.00), and may be in any denomination not exceeding the amount authorized by this bylaw and shall be dated having regard to the date of the borrowing.
3. The debentures shall bear interest during the currency of the debentures, at the interest rate fixed from time to time by the Alberta Capital Finance Authority, or other financial institution, per annum, payable semi-annually but, in any event, not to exceed a rate five per cent (5%).
4. The debentures shall be issued in such manner that the principal and interest will be combined and be made payable in, as nearly as possible, equal semi-annual installments over a period of up to twenty (20) years, in accordance with the schedule attached and forming a part of each debenture.

Bylaw No. 1016-2018

PAGE 3

Code 02/09

5. The debentures shall be payable in lawful money of Canada at the Bank of Montreal in the City of Leduc or at such other bank or financial institution as Council may authorize as its banking agency during the currency of the debenture.
6. The Mayor and a Designated Officer of the City of Leduc shall authorize such bank or financial institution to make payments to the holder of the debentures, on such date and in such amounts as specified in the repayment schedule forming part of each debenture.
7. The debentures shall be signed by the Mayor and a Designated Officer of the City of Leduc and the corporate seal of the City of Leduc shall be affixed to the debentures.
8. The principal and interest on the indebtedness shall be paid from the Road Offsite Levy Reserve and in the event that the amount available from the Road Offsite Levy Reserve is less than the principal and interest falling due on such debentures there shall be levied and raised in each year of the currency of the debentures a rate or rates on the assessed value of all lands and improvements shown on the assessment roll, sufficient to provide, an annual tax that, when combined with the amount available from the Road Offsite Levy Reserve, will be adequate to pay the principal and interest falling due in such year on such debentures. The said rates and taxes are collectible at the same time and in the same manner as other rates and taxes.
9. The indebtedness is contracted on the credit and security of the City of Leduc at large.
10. The net amount realized by the issue and sale of debentures authorized under this bylaw shall be applied only for the purposes of undertaking and completing construction of Southeast Boundary Road (Hwy 2A to Coady Blvd).

Bylaw No. 1016-2018

PAGE 4

Code 02/09

PART II: ENACTMENT

This Bylaw shall come into force and effect when it receives Third Reading and is duly signed.

READ A FIRST TIME IN COUNCIL THIS ____ DAY OF _____, AD 2019.

READ A SECOND TIME IN COUNCIL THIS ____ DAY OF _____, AD 2019.

READ A THIRD TIME IN COUNCIL AND FINALLY PASSED THIS ____ DAY OF _____, AD 2019.

Bob Young
MAYOR

Paul Benedetto
CITY MANAGER

Date Signed

PUBLIC COMMENTARY

IN-CAMERA ITEMS

There are no In-Camera Items

RISE & REPORT FROM IN-CAMERA ITEMS

UPDATES FROM BOARDS & COMMITTEES



Building Permit Detail Summary

February 1, 2019-February 28, 2019 (inclusive)

Commercial					
Permit	Type of Work	Builder	Units	Area	Valuation
PRBD201804549 (Finaled-13/02/2019)	Alteration and improvements	West Vet Holdings Ltd.		West Commercial	\$14,000.00
PRBD201900147 (Issued-20/02/2019)	Alteration and improvements	NATURE'S BEST ROCK & GEM		West Commercial	\$2,982.66
PRBD201900226 (Issued-05/02/2019)	Alteration and improvements	KING ACCOUNTING SOLUTIONS INC.		Central Business District	\$250,000.00
Subtotal		3			\$266,982.66
Duplex Dwelling					
Permit	Type of Work	Builder	Units	Area	Valuation
PRBD201900248	New Construction - Duplex	LIVE BETTER HOMES LTD	1	Robinson	\$358,000.00
PRBD201900249	New Construction - Duplex	LIVE BETTER HOMES LTD	1	Robinson	\$358,000.00
Subtotal		2	2		\$716,000.00
Government/Institutional					
Permit	Type of Work	Builder	Units	Area	Valuation
PRBD201804416	Pre-fabricated building	DEFORD CONTRACTING INC		East Industrial	\$270,000.00
Subtotal		1			\$270,000.00
Industrial					
Permit	Type of Work	Builder	Units	Area	Valuation
PRBD201804916 (Issued-05/02/2019)	Alteration and improvements	SBC CONSTRUCTION SERVICES LTD		Northeast Industrial Park	\$80,000.00
Subtotal		1			\$80,000.00
Other Residential					
Permit	Type of Work	Builder	Units	Area	Valuation
PRBD201801586 (Issued-11/02/2019)	Alteration and improvements	KLONE ROBERT N		South Park	\$1,100.00
PRBD201804354	Addition - Deck Cover/Roof	GAGNON TREVOR		South Park	\$5,000.00
PRBD201804548 (Issued-22/02/2019)	Alteration and improvements	HILL JESSE TAYLOR		Southfork	\$4,000.00
PRBD201900037 (Issued-19/02/2019)	Accessory Structure - Detached Garage	ENCORE MASTER BUILDER INC.		West Haven	\$12,000.00



Building Permit Detail Summary

February 1, 2019-February 28, 2019 (inclusive)

PRBD201900041	Wood Stove/fireplace	VELDHUISEN JORDAN	North Telford	\$500.00
PRBD201900124 (Issued-06/02/2019)	Secondary suite	Creation Communities Inc/ CCI Homes	1 Deer Valley	\$50,000.00
PRBD201900127	Secondary suite	CRANSTON HOMES LTD	1 Black Stone	\$50,000.00
PRBD201900158 (Issued-07/02/2019)	Secondary suite	ART CUSTOM HOMES INC	1 Meadowview Park	\$50,000.00
PRBD201900209	Basement Development	WHITTINGHAM ROBERT G	Southfork	\$19,000.00
PRBD201900235	Basement Development	HAYCOCK BRANDON	Suntree	\$24,500.00
PRBD201900238 (Issued-11/02/2019)	Accessory Structure - Deck Uncovered	LABRENTZ DARREN	West Haven	\$5,000.00
PRBD201900241 (Issued-12/02/2019)	Accessory Structure - Deck Uncovered	ANDREWS DARREN	Southfork	\$5,000.00
PRBD201900242	Basement Development	KERR TYLER	Robinson	\$28,000.00
PRBD201900260	Basement Development	PETROWSKI BLAIR M	Windrose	\$30,000.00
PRBD201900262	Basement Development	MACK CHRISTOPHER	Southfork	\$18,000.00
PRBD201900265 (Issued-12/02/2019)	Accessory Structure - Detached Garage	LAPORTE ERIC R	Southfork	\$21,150.00
PRBD201900267	Basement Development	Prominent Homes Edmonton Ltd	Deer Valley	\$23,000.00
PRBD201900293 (Issued-26/02/2019)	Accessory Structure - Deck Uncovered	HOMES BY SANTOS CONSTRUCTION	Meadowview Park	\$5,000.00
PRBD201900321 (Issued-26/02/2019)	Accessory Structure - Deck Uncovered	Greentree Eco-Friendly Services Ltd	Southfork	\$5,000.00
PRBD201900349 (Issued-26/02/2019)	Basement Development	SASYNIUK CHARLES	Meadowview Park	\$20,000.00
PRBD201900382 (Issued-26/02/2019)	Basement Development	TAYLOR STEVEN J	Meadowview Park	\$14,000.00
Subtotal		21	3	\$390,250.00

Single Detached Dwelling				
Permit	Type of Work	Builder	Units Area	Valuation
PRBD201900091 (Issued-14/02/2019)	New Construction - Single Detached Dwelling	Coventry Homes Inc.	1 Woodbend	\$426,000.00
PRBD201900153 (Issued-26/02/2019)	New Construction - Single Detached Dwelling	CRANSTON HOMES LTD	1 Black Stone	\$373,000.00



Building Permit Detail Summary

February 1, 2019-February 28, 2019 (inclusive)

PRBD201900179 (Issued-06/02/2019)	New Construction - Single Detached Dwelling	CALIBER MASTER BUILDER LTD	1 Black Stone	\$317,000.00
PRBD201900257 (Issued-20/02/2019)	New Construction - Single Detached Dwelling	TRIUMPH HOMES LTD.	1 Black Stone	\$363,000.00
PRBD201900258 (Issued-22/02/2019)	New Construction - Single Detached Dwelling	CRANSTON HOMES LTD	1 Black Stone	\$383,000.00
PRBD201900305 (Issued-14/02/2019)	New Construction - Single Detached Dwelling	CALIBER MASTER BUILDER LTD	1 Black Stone	\$360,000.00
PRBD201900357 (Issued-22/02/2019)	New Construction - Single Detached Dwelling	Prominent Homes Edmonton Ltd	1 Black Stone	\$357,000.00
PRBD201900390 (Issued-26/02/2019)	New Construction - Single Detached Dwelling	Prominent Homes Edmonton Ltd	1 Black Stone	\$340,000.00
PRBD201900404 (Issued-28/02/2019)	New Construction - Single Detached Dwelling	LOOK MASTER BUILDER EDMONTON INC	1 Black Stone	\$389,000.00
PRBD201900408 (Issued-28/02/2019)	New Construction - Single Detached Dwelling	LOOK MASTER BUILDER EDMONTON INC	1 Black Stone	\$299,000.00
Subtotal		10	10	\$3,607,000.00
Total		38	15	\$5,330,232.66

TOTAL RESIDENTIAL UNITS COMPARISON OF 2019 TO 2018

YEAR 2019	Single Family	Duplex (side by side and up & down)	Multi Family (3-plex, 4-plex, townhouse, rowhousing and apartments)
	No. of Units	No. of Units	No. of Units
January	6	0	0
February	10	2	0
March			
April			
May			
June			
July			
August			
September			
October			
November			
December			
Year-to-date Totals	16	2	0

YEAR 2018	Single Family	Duplex (side by side and up & down)	Multi Family (3-plex, 4-plex, townhouse, rowhousing and apartments)
	No. of Units	No. of Units	No. of Units
January	25	4	4
February	23	3	0
March			
April			
May			
June			
July			
August			
September			
October			
November			
December			
Year-to-date Totals	48	7	4

TOTAL PERMIT VALUE COMPARISON OF 2019 TO 2018

Year 2019	Residential Permits	Commercial Permits	Institutional Permits	Industrial Permits	Total of all Building Permits
January	\$ 3,104,500.00	\$ 598,936.00	\$ 45,000.00	\$ 4,988,000.00	\$ 8,736,436.00
February	\$ 4,713,250.00	\$ 266,982.66	\$ 270,000.00	\$ 80,000.00	\$ 5,330,232.66
March					
April					
May					
June					
July					
August					
September					
October					
November					
December					
Year-to-date Totals	\$ 7,817,750.00	\$ 865,918.66	\$ 315,000.00	\$ 5,068,000.00	\$ 14,066,668.66

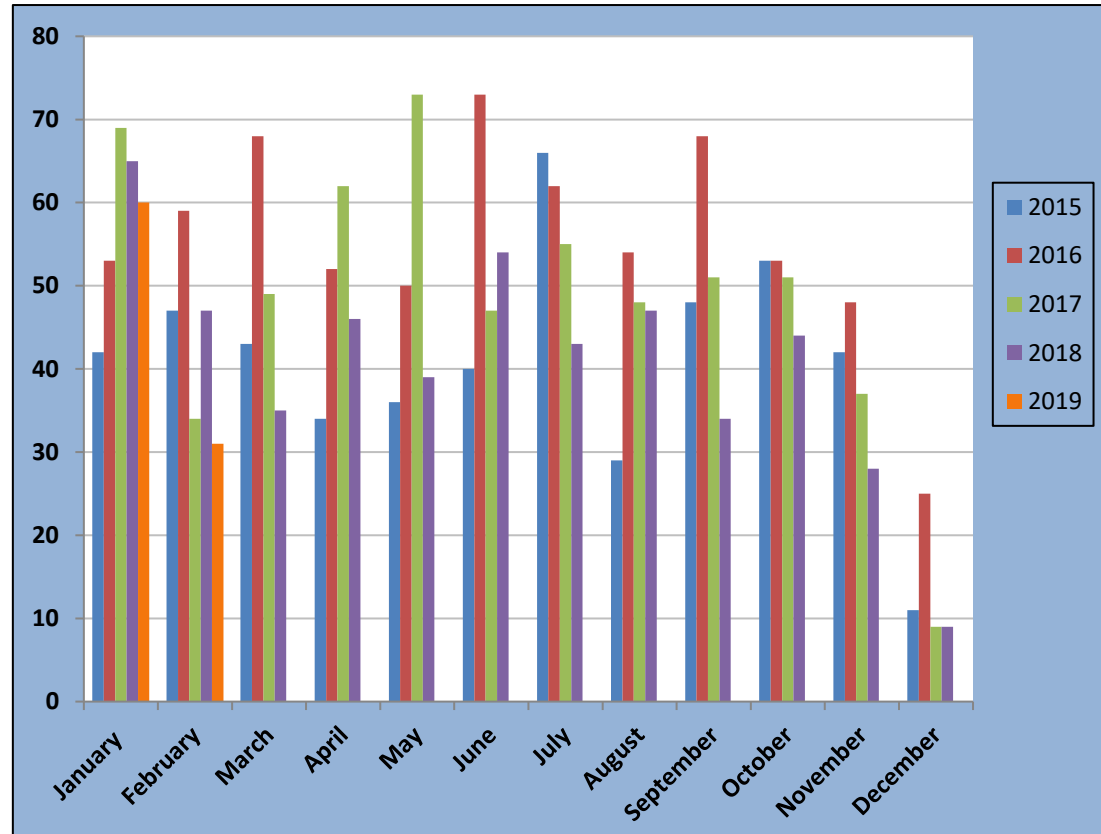
Year 2018	Residential Permits	Commercial Permits	Institutional Permits	Industrial Permits	Total of all Building Permits
January	\$ 11,972,203.59	\$ 803,000.00	\$ -	\$ 240,207.00	\$ 13,015,410.59
February	\$ 10,816,251.42	\$ 235,000.00	\$ 400,000.00	\$ 10,000.00	\$ 11,461,251.42
March					
April					
May					
June					
July					
August					
September					
October					
November					
December					
Year-to-date Totals	\$ 22,788,455.01	\$ 1,038,000.00	\$ 400,000.00	\$ 250,207.00	\$ 24,476,662.01

February 2019 - Newly Issued Business Licences

License #	Business Name	Address	Activity	Contact	Category	TaxRoll
LCB201801474	Body Bloom Massage Therapy	6201 50 ST, Leduc, AB	Massage Therapy Services	8259953727	General	010384
LCB201801675	Elyse Fitness	190 SOUTHFORK DR, Leduc, AB	Nutrition and Personal Training Consulting	7809040645	Home Based	018904
LCB201801698	The Witch Down The Lane	6201 50 ST, Leduc, AB	Sales and Services (tarot reading)	7806604640	General	010384
LCB201801776	Tobeq Tools & Equipment Inc.	6704 41 ST, Unit:105, Leduc, AB	Distribution of tools and equipment for automotive	7809803210	General	017509
LCB201801780	GEMINI MASSAGE THERAPIES	6201 50 ST, Leduc, AB	MASSAGE THERAPY	7803878317	General	010384
LCB201801965	Totally Teased Hairstyles	5120 50 AVE, Leduc, AB	Hairstyling (chair rental)	7809188548	General	010286
LCB201900033	BLYSS MERRIE	5120 50 AVE, Leduc, AB	HAIRSTYLIST (chair rental)	7809861669	General	010286
LCB201900072	CREATIVITY URBAN SALON	5120 50 AVE, Leduc, AB	HAIR SALON	7809861669	General	010286
LCB201900132	EXOTIC PEACH	5906 50 ST, Unit:4, Leduc, AB	CLOTHING RETAIL & MANUFACTURER	7803182554	General	010342
LCB201900176	EVERYDAY ELITE FITNESS	224 ASTON PT, Leduc, AB	PERSONAL TRAINING	7803148174	Home Based	019860
LCB201900185	ECMC Computer Maintenance & Repair Services	180 BRIDGEPORT BLVD, Unit:168, Leduc	COMPUTER SERVICES	7802013759	Home Based	012490
LCB201900216	Alberta Fights Back		Political/Elections, Third Party Advertiser	5879890111	Non-Resident	
LCB201900228	SHANDI WINSLOW	316 SOUTHWICK BLVD, Leduc, AB	GEL NAIL SERVICES	7809208579	Home Based	013262
LCB201900254	EARTHWAY ART CREATIONS	401 SOUTHFORK DR, Unit:200, Leduc	ART/ SCULPTURE	7807191427	Home Based	017346
LCB201900256	L.A. BOBCAT SERVICE LTD	6051B 47 ST, Unit:207, Leduc, AB	SNOW REMOVAL	7809910876	General	016116
LCC201900261	HAZ-TEK INC.		Heavy Equipment Contracting, Metals Recycling, Specialty	7803620874	Non-Resident	
LCC201900266	Haus Renovation		General Contractor	7803181812	Non-Resident	
LCC201900275	R R ELECTRIC LTD		RENOVATION WORK	7807105553	Non-Resident	
LCC201900274	ZA Electircal and General Contractor Ltd		Commercial and Residential General Contracting	7802639939	Non-Resident	
LCB201900280	EMPIRE SCBA & SUPPLIES INC	5512 45 ST, Unit:123, Leduc, AB	SAFETY SUPPLIES SALES, SERVICE & RENTALS	7804392302	General	NO ROLL
LCB201900284	Bento Sushi	5421 50 ST, Leduc, AB	Bento makes sushi at a kiosk	4038708572	General	010331
LCB201900296	Leduc Smoke Shop	5111 50 ST, Leduc, AB	Sells smoke related items and clothing	5878799110	General	NO ROLL
LCB201900303	Hart & Company Law Office	4716 51 AVE, Leduc, AB	Provides legal services	7802397002	General	010410
LCC201900313	Eiffage Innovative Canada Inc.		General Contractor - Bridge Construction and	9056370004	Non-Resident	
LCB201900314	Country Nuts Photography		Photography for Local Sports Leagues, Schools, Etc.	7805704622	Non-Resident	
LCB201900318	The Holistic Health Connection	16 WAKEFIELD PL, Leduc, AB	Holistic nutritional consultations	7809952571	Home Based	011036
LCC201900325	77 PLUMBING & HEATING		PLUMBING & HEATING	7804895419	Non-Resident	
LCB201900329	KORKED U-VIN LTD	4710D 50 AVE, Leduc, AB	RETAIL STORE - GENERAL & CUSTOM MANUFACTURING	7809201617	General	010231
LCB201900356	PRIORITY ENTERTAINMENT	467 MCALLISTER PL, Leduc, AB	MUSIC PERFORMER	7808033722	Home Based	019122
LCC201900358	RightStanding Contracting		GENERAL BUILDING CONTRACTOR	7805862346	Non-Resident	
LCC201900364	AR'S HOME IMPROVEMENT LTD		CONSTRUCTION	7809359292	Non-Resident	

Newly Issued Business Licences Comparison by Year

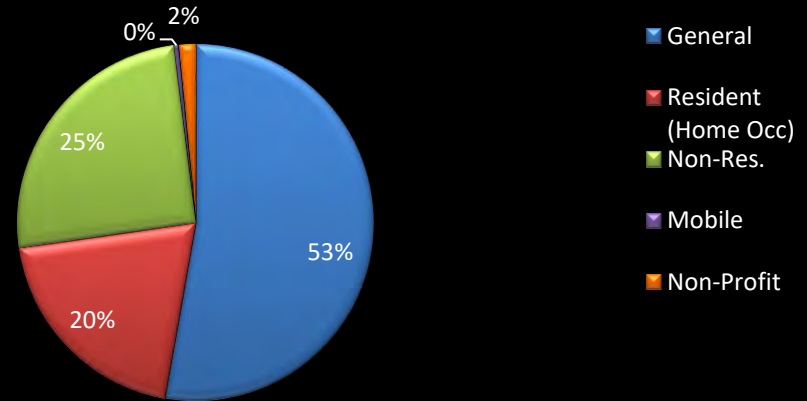
	2015	2016	2017	2018	2019
January	42	53	69	65	60
February	47	59	34	47	31
March	43	68	49	35	
April	34	52	62	46	
May	36	50	73	39	
June	40	73	47	54	
July	66	62	55	43	
August	29	54	48	47	
September	48	68	51	34	
October	53	53	51	44	
November	42	48	37	28	
December	11	25	9	9	
Total	491	665	585	491	91



Current Licence Types

	General	Resident	Non-Res.	Mobile	Non-Profit	Total
January	778	289	376	6	19	1468
February	885	335	424	7	26	1677
March						0
April						0
May						0
June						0
July						0
August						0
September						0
October						0
November						0
December						0

Licence Types as of Feb. 28, 2019



2015 Year End for Comparison

Total	936	371	840	41	15	2203
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2016 Year End for Comparison

Total	971	403	809	44	23	2250
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2017 Year End for Comparison

Total	972	405	895	23	30	2325
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2018 Year End for Comparison

Total	999	413	860	48	29	2349
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ADJOURNMENT