

CITY OF LEDUC
COUNCIL MEETING AGENDA



Monday, June 10, 2019, 7:00 P.M.
Council Chambers, Leduc Civic Centre
1 Alexandra Park, Leduc, Alberta

1. CALL TO ORDER
2. ADOPTION OF AGENDA
3. ITEMS FOR DISCUSSION AND RELATED BUSINESS
 - 3.1 Select Items for Debate
 - 3.2 Vote on Items not Selected for Debate
4. ADOPTION OF PREVIOUS MINUTES
 - 4.1 Approval of Minutes of the Council Meeting held Monday, May 27, 2019
5. RECOGNITION ITEMS
6. PUBLIC COMMENTARY
7. PUBLIC HEARING
8. PRESENTATIONS
 - 8.1 Boys and Girls Club Update
(S. Bissell, Executive Director, Boys & Girls Club Leduc)
(Presentation Attached)
 - 8.2 Leduc Downtown Business Association Strategic Plan Update
(A. Berndt & Dr. Jack Gordon, Downtown Business Association)
9. BUSINESS
 - 9.1 Downtown Business Association Capital Reserves
(C. Graham)

9.2 Municipal Grant – Leduc Art Walk 2019

(D. Melvie)

9.3 Leduc Arts Foundry - Memorandum of Understanding

(T. Turner)

9.4 Update on Treaty 6 & Metis Flag Raising

(S. Davis / T. Turner)

10. BYLAWS

10.1 Bylaw No. 1013-2018 - Redistricting Meadowview Stage 17 (1st Reading)

(K. Woitt)

10.2 Bylaw No. 1027-2019 - Southeast Leduc Area Structure Plan Amendment (1st Reading)

(K. Woitt)

11. PUBLIC COMMENTARY

12. IN-CAMERA ITEMS

13. RISE AND REPORT FROM IN-CAMERA ITEMS

14. UPDATES FROM BOARDS & COMMITTEES

14.1 Council Member Updates from Boards & Committees

14.2 Council Member Updates from Commissions, Authorities, Other

15. INFORMATION REPORTS

15.1 Mayor's Report

15.2 Building Inspector's Report

15.3 Newly Issued Business Licences

16. ADJOURNMENT

**MINUTES OF THE CITY OF LEDUC
COUNCIL MEETING**

Monday, May 27, 2019

Present: Mayor B. Young, Councillor B. Beckett, Councillor B. Hamilton,
Councillor L. Hansen, Councillor T. Lazowski, Councillor L. Tillack
Absent: Councillor G. Finstad
Also Present: D. Melvie, Acting City Manager, M. Hormazabal, Deputy City Clerk

1. CALL TO ORDER

Mayor B. Young called the meeting to order at 7:00 pm.

2. ADOPTION OF AGENDA

MOVED by Councillor L. Hansen

That the agenda be adopted with the following additions:

9. BUSINESS

9.6 Economic Development Videos

Motion Carried Unanimously

3. ITEMS FOR DISCUSSION AND RELATED BUSINESS

3.1 Select Items for Debate

The following items were selected for debate:

9. BUSINESS

9.1 Parks, Recreation and Culture Board

9.2 Traffic Advisory Committee

9.4 Annual Environmental Progress Report

9.5 Proposed Amendment to Bylaw No. 878-2014 - Traffic Bylaw (Unattached Trailers)

9.6 Economic Development Video

3.2 Vote on Items not Selected for Debate

Votes recorded under item headings.

4. ADOPTION OF PREVIOUS MINUTES

4.1 Approval of Minutes of the Council Meeting held Monday, May 13, 2019

MOVED by Councillor B. Beckett

That the minutes of the Council Meeting held Monday, May 13, 2019, be approved as presented.

Motion Carried Unanimously

5. RECOGNITION ITEMS

There were no Recognition Items for the agenda.

6. PUBLIC COMMENTARY

There was no Public Commentary.

7. PUBLIC HEARING

There were no Public Hearings for the agenda.

8. PRESENTATIONS

There were no Presentations for the agenda.

9. BUSINESS

9.1 Parks, Recreation and Culture Board

J. Cole, Board Chair, Leduc Parks, Recreation and Culture Board, made a PowerPoint presentation (Attached) and answered Council's questions.

9.2 Traffic Advisory Committee

S. Olson, Director Engineering and C. Chislom, Manager, RCMP Administration and Enforcement Services, made a PowerPoint presentation (Attached to Agenda Package) and answered Council's questions.

9.3 Municipal Grants Policy and Procedures

MOVED by Councillor B. Beckett

That Council approve the amended City of Leduc Policy 11.00:22 Municipal Grants and Procedures.

Motion Carried Unanimously

9.4 Annual Environmental Progress Report

K. Chomlak, Environmental Sustainability Coordinator, made a PowerPoint presentation (Attached to Agenda Package) and answered Council's questions.

9.5 Proposed Amendment to Bylaw No. 878-2014 – Traffic Bylaw (Unattached Trailers)

C. Chisholm, Manager, RCMP Administration and Enforcement Services, provided an overview of the proposed amendments to Bylaw No. 878-2014 - Traffic Bylaw (Unattached Trailers) and answered Council's questions.

MOVED by Councillor B. Hamilton

That Council direct Administration to bring forward an amendment to the Traffic Bylaw that would allow unattached construction/contractor trailers to be parked on a highway at a worksite in Leduc during limited daytime hours.

Motion Carried Unanimously

9.6 Economic Development Videos

N. Booth, Manager, Communications and Marketing Services and H. Wilson, Manager, Economic Development, presented the Economic Development business videos to Council where business owners "tell their story of Leduc" to attract more businesses and clients to Leduc.

10. BYLAWS

10.1 Bylaw No. 1019-2019 – Amendment to Bylaw No. 580-2004 – Animal Licencing and Control Bylaw (2nd & 3rd Readings)

Administration recommends that Bylaw No. 1019-2019 receive second and third readings.

MOVED by Councillor B. Beckett

That Council give Bylaw No. 1019-2019 second reading.

Motion Carried Unanimously

MOVED by Councillor B. Beckett

That Council give Bylaw No. 1019-2019 third reading.

Motion Carried Unanimously

10.2 Bylaw No. 1024-2019 – Deer Valley / Creekside Area Structure Plan Amendment (1st Reading)

Administration recommends that Bylaw No. 1024-2019 receive first reading.

MOVED by Councillor B. Beckett

That Council give Bylaw No. 1024-2019 first reading.

Motion Carried Unanimously

10.3 Bylaw No. 1025-2019 - Redistricting Black Stone Stage 4 (1st Reading)

Administration recommends that Bylaw No. 1025-2019 receive first reading.

MOVED by Councillor B. Beckett

That Council give Bylaw No. 1025-2019 first reading.

Motion Carried Unanimously

MOVED by Councillor B. Beckett

That Council rescind the motion made March 12, 2018 giving Bylaw No. 969-2017 first reading.

Motion Carried Unanimously

MOVED by Councillor B. Beckett

That Council rescind the motion made March 26, 2018 giving Bylaw No. 969-2017 second reading.

Motion Carried Unanimously

11. PUBLIC COMMENTARY

T. Flynn, City of Leduc resident, suggested that the information provided at the Traffic Advisory Committee be shared on social media. T. Flynn further recommended that new developments should be comprised of "walk-able communities", and stated more commercial development is needed in the new neighbourhoods.

12. IN-CAMERA ITEMS

There were no In-Camera Items for the agenda.

13. RISE AND REPORT FROM IN-CAMERA ITEMS

14. INFORMATION REPORTS

14.1 Mayor's Report

There was no discussion.

15. ADJOURNMENT

The Council meeting adjourned at 8:15 pm.

B. YOUNG, Mayor

M. HORMAZABAL, Deputy City Clerk

Leduc Parks, Recreation & Culture Advisory Board

Committee of Council Update
May 27, 2019



Your Parks, Recreation & Culture Advisory Board



Highlights of the PRC's work over the past year

- Community Initiatives
- Capacity Building
- Board Priorities and Activities

Community Initiatives

- Recreation Fees & Charges Strategy
- Sport Hall of Fame Induction Ceremony
- Youth Engagement Results & Youth Wellness Plans
- Sport Tourism Program Overview & Major Events
- City of Leduc Events
- Facility Allocation Overview
- Maclab Centre for the Performing Arts Operations Transition
- Recreation Assistance Programs Overview & Local Barriers to Participation

Community Capacity Building

- Presentations and delegations
- Volunteer Appreciation Banquet & Citizens of Distinction Awards
- Volunteer Leduc Overview
- Grants to Organizations



Other Initiatives

- June is Parks & Recreation Month
- Alberta Recreation & Parks Association Conference

Thank you for the opportunity to share
with you the work of your
Parks, Recreation & Culture Advisory Board.



BOYS AND GIRLS CLUB OF LEDUC

June 10th, 2019: Presentation to Council

Why we do what we do.....

Mission:

- To provide safe, supportive places where children and youth can experience new opportunities, overcome barriers, build positive relationships, and develop confidence and skills for life.

Vision:

- All children and youth discover and achieve their dreams and grow up to be healthy, successful, and active participants in society.

Practical Outcomes:

- Access to positive and inclusive people and environments.
- Social, emotional, recreational, education and physical needs are met.
- Equal opportunity for belonging, acceptance and achievement.
- Meet identified community need.

2019 After School Member Survey Highlights

- 1. The Boys and Girls Club of Leduc Provides a fun, safe and inclusive environment for my child after school. 87.6 % Strongly Agree
- 2. My child feels safe, supported, and valued at The Boys and Girls Club of Leduc? 100% Agree
- 3. My Child's Social and Emotional wellness has increased through attending the Boys and Girls Club of Leduc? 83% Strongly Agree
- 4. Through my child's participation in The Boys and Girls Club of Leduc, they have demonstrated the following improvements in some of the following eight developmental assets. SUPPORT, EMPOWERMENT, BOUNDARIES, COMMITMENT TO LEARNING, POSITIVE SOCIAL COMPETENCIES AND POSITIVE IDENTITY. 95.8% Yes

2019 Youth Drop-In Member Survey Highlights

- 1. Do you feel welcome at Drop-In? Average Rating out of 5: 4.8
- 2. Is Drop-In a safe place to be? Average Rating out of 5: 4.9
- 3. Is Drop-In a place you would invite friends? Average Rating out of 5: 4.6
- 4. Is coming to Drop-In something you look forward to each week? Average Rating out of 5: 4.8
- 5. Are the staff friendly and helpful at Drop-In? Average Rating out of 5: 4.8

Two Programming Streams

Six to Twelve Years

- After-School Care.
- Music, Sport and Art Lessons.
- Summer Camps.
- Torch Leadership.

Twelve to Eighteen Years

- Youth Drop-In.
- Keystone Leadership.
- Youth Skills and Development (new).

After School Program Overview

- 60-70 children per day (average).
- 100 registered members.
- 3:00 pm to 6:00 pm daily.
- Fees average \$25.00 per month, busing fees \$30.00 per month (subsidy available).
- Significant parent volunteer commitment.
- Transportation from Notre Dame, Corinthia, Caledonia and Willow Park (East Elementary within walking distance).
- Focused on social, emotional, and physical wellness.

Youth Program Overview

Drop-In

- 20 to 40 youth (fluctuates).
- Once per week, three hours.
- Focus on recreation, safe space and relationships.
- Youth driven programming.

Keystone

- 12 – 15 youth attend regularly.
- In partnership with CTK Roteract Club.
- Focus on community service and leadership.
- Youth driven programming.

Challenges

Children

- Programming Space.
- Capacity (wait list).
- Reach limited by transportation.
- Costs rise, membership fees remain static.
- Funding uncertainty.

Youth

- Programming Space.
- Engagement.
- Diversity in youth interests and needs.
- Lack of coordination in youth programming community wide.
- Funding uncertainty.

Addressing Challenges

Programming Space

- Partner to access existing space (i.e. Gateway Church).
- Utilise space with the LRC (field house, greenspace, pool, Rotary Room).
- Reserve Fund.

Funding

- Cultivate community partnerships (i.e. Leduc Food Bank, Thaddeus Lake Music Foundation).
- Seek out new grants, fundraising and sponsorships opportunities (i.e. EIA Outlet Collection).
- Careful financial management and stewardship.

Addressing Challenges Continued....

Youth Engagement

- Invest in full-time Youth Coordinator.
- Focus on engaging youth within their natural "habitats" (i.e. CTK).
- Programming diversity (different youth, different needs).

Community Coordination and Collaboration

- Active, deliberate and constant partnering (i.e. Leduc Executive Directors' Working Group).
- Reaching outward, to direct inward (community awareness).
- Sharing of information, resources and assets (i.e. Leduc Girls Guides).

FUTURE FOCUS

Two Goals: Three to Five Years

Youth Development (12 to 18 years)

Priority: Youth Program Expansion

- Grow Leadership and Community Service (supporting existing initiatives).
- Expand youth drop-in opportunities.

Our Commitment

- Collaborate and coordinate with existing youth initiatives to avoid duplication and maximise utilization and success. Partnership over autonomy.
- Act upon community direction and information (i.e. City of Leduc Needs Assessment).
- Be responsive and innovative in the face of emerging and changing youth needs and interests.

Increase Programming Capacity

Priority: Leduc Recreation Centre Expansion

- Best option (location, accessibility, exposure and amenities).
- Expansion of our existing BGC Leduc location (vertically or horizontally)

Our Commitment

- Close consultation and collaboration with the City of Leduc.
- Formalizing a partnership that balance the needs of the Community, City and Club.
- Cost sharing and financial contribution.
- Multi-purpose, *community space* and full utilization.
- Utilise and support public transportation.

FAR FUTURE FOCUS

One Goal: Five Years

Expanding Care

Priority: Quality, Affordable Child Care Program

- Dependent on our ability to secure additional space.
- Licensed, subsidized, affordable programming and care for children
- 0-12 years (if proven need)

Our Commitment

- Determining need and scope for potential services.
- Targeting the highest risk children and families from our community.
- Develop, implement, administer and evaluate.

QUESTIONS & COMMENTS

City of Leduc Council Input

Business

Downtown Business Association Capital Reserves

(Distributed Under Separate Cover)

Presented by

C. Graham

MEETING DATE: June 10, 2019

SUBMITTED BY: Rachel Yeung, Manager, Community Development

PREPARED BY: Elana Hansen, Administrator, Community Development

REPORT TITLE: Municipal Grant – Leduc Art Walk 2019

REPORT SUMMARY

Administration has received and processed an application from the Leduc Arts Foundry for an Event Hosting Grant through the City's Municipal Grant Request Program.

RECOMMENDATION

That Council awards a grant to Leduc Arts Foundry for an amount not to exceed \$5,000, which is to be funded from Council Community Grants to help offset expenses related to hosting the annual Leduc Art Walk on Main Street on July 13, 2019.

BACKGROUND

KEY ISSUE(S) / CONTEXT:

The Leduc Arts Foundry has applied for a hosting grant to offset event expenses associated with the Leduc Art Walk to be held on July 13, 2019.

This is the third annual one-day street festival, which brings together local community, Alberta based artists and artisans to display and sell art and other handmade local goods in the historical Main Street District of Leduc, AB.

Artists will engage with the community, offering workshops, demonstrations including performances by local musicians scheduled throughout the day to create an immersive and all-encompassing community arts and culture experience. The event provides for an inclusive environment designed by artists to engage the broader community, inspiring collaborative creativity and culture to artists and patrons alike. Last year's event brought in an estimated attendance of 5000+, hosted over 55 artist displays and included performances by local musicians. Current artist registration is already over 118, and registration is nearly full.

The grant, if approved, would be allocated to offset overhead costs for the event, musicians, stage rentals and equipment required to support the performing arts area of the festival.

The Grant Application Subcommittee recommends the grant be approved for the full amount requested (\$5,000)

IMPLICATIONS OF RECOMMENDATION

FINANCIAL:

Funds for this grant will be funded through the Council Community Grants Account.

ALTERNATIVE(S):

That Council award a grant to Leduc Arts Foundry for an alternate amount, which is to be funded from Council Community Grants to help offset expenses related to hosting the annual Leduc Art Walk on Main Street on July 13, 2019.

ATTACHMENTS:

Hosting Grant Application – Leduc Arts Foundry

Others Who Have Reviewed this Report

P. Benedetto, City Manager / I. Sasyniuk, General Manager, Corporate Services / D. Melvie, General Manager, Community & Protective Services / G. Damo, Acting, Director, Finance

City Council Hosting Grant Request

Application Form

The personal information on this form is being collected for the purpose of determining eligibility of an applicant to receive a Council Grant. The information is collected under the authority of section 33(c) of the Freedom of Information and Protection of Privacy Act and may become public information. Questions regarding the collection of this information can be directed to the City Clerk at (780) 980-7177, #1 Alexandra Park, Leduc, AB, T9E 4C4.

File# _____

Application# _____

Applications must be received no less than six (6) weeks prior to the scheduled event date; however (eight) 8 weeks prior is preferred for administrative purposes. Applications will be processed as submitted.

Event Information

1. Describe the name and nature of the event to be hosted (include date, location and volunteer component(s):

Leduc Art Walk, July 13, 2019, 50 St from 50 Ave to 48 Ave.

Nearly 120 artists and artisans will line Main Street to show and sell original artwork and handmade goods. It also features a family activity center with demonstrations and hands on participation for all ages in art related and other activities.

Volunteers are needed for set up, take down, monitoring the site, and in the family activity centre for demonstrations and hands on activities.

"Original Signed"

2. Select the type of event to be hosted (choose all that apply):

Amateur Sport

Multicultural

Recreation

3. Select event geographic (choose one):

Regional

Provincial

Inter-Provincial

National

International

4. Select which best describes the history of this event (choose one):

Regular and ongoing

New Initiative

5. Is this event a public event for City of Leduc residents to attend? (choose one)

Yes

No

City Council Hosting Grant Request

6. How many people are expected to participate? 10 000 plus

Applicant Information

1. Select the applicant status (choose all that apply):

- Non-profit organization
 Local school
 Local group affiliated with a National or Provincial entity

(name of entity: _____)

2. Has the applicant been registered or in operation for at least one year? (choose one)

- Yes No

3. Has the applicant been awarded a hosting grant within the same calendar year? (choose one)

- Yes No

4. Please give a brief description about your organization including its primary objectives:

The visioning and planning of an arts and cultural centre in Leduc. the Foundry will be a centrally located and inclusive arts collective, and will deliver authentic artistic experiences to our community with the help of passionate, community-basted artisans. In order to increase awareness of the organization and gauge the community's reponse we are holding the art walk, open houses, and art jams (bringing musicans and various art forms together)

5. Organization Name: Leduc Arts Foundry

6. Name of Contact: Linda Chapelsky

7. Contact's Position in Organization: Director at Large

8. Address of Contact: Street: 4 Bonin Place

City: Leduc

Province: AB

Postal Code: T9E 6H5

Phone (home): 780.991.2711

Phone (work): _____

Fax: _____

City Council Hosting Grant Request

Email: chap@telus.net

Grant Request

1. Select the type of request (choose one):

_____% of facility/equipment rental (attach rental agreement)

100 % (\$ _____)

75 % (\$ _____)

50 % (\$ _____)

25 % (\$ _____), or

Defray event costs. Please indicate the amount requested: \$ 5 000

NOTE: Grants cannot be used toward damage deposits

2. If applicable, provide details how the grant will be allocated to defray event costs:

Hiring of local musicians, rental of stages, and any necessary PA equipment/power support.

3. What is the total operating budget for your group or organization including fundraising initiatives? Please give revenue and expenditure details. Attach additional pages if necessary.

Financial Statements provided.

4. Please provide a budget for this event. If applicable, include what facilities will be required including number of hours and cost of rental. Attach additional pages if necessary.

See attached

City Council Hosting Grant Request

Application Declaration

We the undersigned do hereby declare that to the best of our knowledge this application:

1. Contains a full, current and accurate account for all matters stated herein,
2. Is made for and on behalf of the Organization by the undersigned,
3. Is in respect of a project which is in the best interests of the Organization and which has been officially approved by a majority vote as defined by the constitution of the Organization,
4. We declare that the monies will be used for the purpose the application was approved. If the event is not undertaken, the grant money will be returned, and
5. We agree to fulfill the commitments of the grant, which include submitting the required final report within one month following the completion of the event identifying the project outcome and an evaluation of the project in relation to its objectives.

If grant awarded, the cheque will be made payable to:

Name of Organization: Leduc Arts Foundry
Address of Organization: Box 3152
Leduc AB
T9E 6L9

"Original Signed"

"Original Signed"

Signature of Chairperson/President

Signature of Vice-Chair or Vice-President

Date

March 7, 2019

Return this completed application with all supporting material attached to:

Elana Hansen, Community Development

City of Leduc

#1 Alexandra Park

Leduc, AB, T9E 4C4

Phone: 780-980-7166

Fax: 780-980-7127

Email: ehansen@leduc.ca

2019 Budget

Revenue	
Vendor fees	\$6,000
Food Trucks	\$1,500
City/County Grants	\$6,500
Sponsorships/In Kind	\$13,500
Total Revenue	\$27,500
Expenses	
Advertising	\$3,500
General expenses	\$7,000
Music/Activities	\$10,000
Volunteers	\$7,000
TOTAL	\$27,500

MEETING DATE: June 10, 2019

SUBMITTED BY: Toscha Turner, Manager, Arts Culture & Heritage

PREPARED BY: Toscha Turner, Manager, Arts Culture & Heritage

REPORT TITLE: Leduc Arts Foundry – Memorandum of Understanding

REPORT SUMMARY

To provide Council with information and intent of a partnership through the Memorandum of Understanding (MOU) with the Leduc Arts Foundry (LAF).

RECOMMENDATION

That Council approve the signing of the Memorandum of Understanding with the Leduc Arts Foundry.

BACKGROUND

KEY ISSUE(S) / CONTEXT:

On October 15, 2018, at the request of the LAF, Administration was directed to work collaboratively with LAF in establishing a Partnership Agreement, Partnership Model, and explore land locations on which an arts centre might be located.

Next steps having been defined in the March 18, 2019 CoW Presentation, and pursuant of the critical path outlined therein, a draft MOU was presented for discussion on April 29, 2019. This document outlined what will be required to move forward to create a more formal agreement, and defined the roles of each party in working towards that end.

The attached MOU (*Attachment 1*), presented for a motion of agreement has been cooperatively built with the LAF and is the first step to creating a working relationship with the LAF for this project.

PAST COUNCIL CONSIDERATION:

November 14, 2016 CoW Presentation – Leduc Art Centre Pilot Project

- The Leduc Art Club (LAC) was seeking from Council “seed money” to get the initiative off the ground.
- Suggestion made that the LAC create a business plan for consideration.

April 18, 2017 CoW Presentation – Funding Reallocation

- The Leduc Arts Foundry Board (LAFB) requested that the City of Leduc provide “seed funding”, in the sum of \$18,150 to support deliverables.
- Administration presented on Community Facility Needs Assessment, which was then underway, and how the LAFB vision could tie into it.
- Committee requested that Administration work with LAFB to complete a review of how their initiative may be integrated into the Community Facility Needs Assessment.

June 26, 2017 Council Motion – Approval of LAF Funding Request

- Administration requested that Council approve the LAF funding request in the amount of \$12,150.
- Moved by Councillor G. Finstad that Council approve the LAF funding request in the amount of \$12,150.
- Amendment moved by Councillor T. Lazowski that Council amend the motion to read: that Council approve the LAF funding request up to the amount of \$18,150. Motion carried.
- Moved by Councillor D. MacKenzie that Council approve the LAF funding request up to the amount of \$18,150. Motion carried.

January 8, 2018 Council Presentation – Update on Project Development

- Administration presented overview of Long Term Facilities Master Plan (LTFMP)
- The LAF presented on progress made in 2017, 2018 strategies for funding and sustainment, and how the City of Leduc can help.

October 15, 2018 CoW Presentation – Feasibility Study

- Request was made by the LAF, at the time of presentation, to *assign internal city resources (resource recommendations for consideration: Toscha Turner, Darrell Melvie and Bruce Knisley)* to work collaboratively with LAF in establishing the following:
 - a. Partnership Agreement
 - b. Partnership Model
 - c. Define land locations
- Manager of Arts, Culture, & Heritage to continue to liaise with LAF.

March 18, 2019 CoW In-Camera Presentation

- Discussion on information presented.

April 29, 2019 CoW Presentation – Draft Memorandum of Understanding (“MOU”)

- Administration presented draft MOU, drawing attention to the following points:
 - a. Acknowledgement that Arts and Culture is important to the City of Leduc;
 - b. The City of Leduc’s responsibilities under the MOU;
 - c. Commission of a third party pre-development arts infrastructure study in Leduc;
 - d. Continue to explore the acquisition or designation of land space for an Arts Centre.
- Administration to develop scope and capacity requirements for Needs Assessment.

IMPLICATIONS OF RECOMMENDATION

ORGANIZATIONAL:

Further analysis of projected implications for existing work programs and staff workloads will be assessed as each stakeholder identifies roles and responsibilities of the working relationship.

FINANCIAL:

At this time, potential partial funding has been identified in the 2021 Capital Budget. Should the City enter into a future partnership with the Leduc Arts Foundry, a more detailed financial review will take place to finalize the details of this financial arrangement and adjust the budgets as required.

Administration will also need to consider other Operational and Master plan impacts as work on the project evolves.

LEGAL:

Legal Services has been consulted and there are no concerns with the content of the Memorandum of Understanding.

IMPLEMENTATION / COMMUNICATIONS:

This Memorandum of Understanding symbolises the commitment each stakeholder has in the continued working relationship and establish the principles respective to the potential development of an arts centre in Leduc. Guided by a communications plan, each stakeholder will be involved with the implementation and communication of outcomes resulting from this partnership.

Next steps will also include:

- Further development of the scope and capacity requirements for Needs Assessment.
- Related community engagement pertaining to the potential development of an arts centre.
- Once the MOU is signed, CMS will help to promote the MOU through a variety of tools and tactics; including social media posts, news release to include quotes from the Mayor and the Leduc Arts Foundry, update on the city's website, and the inclusion of the MOU key messages in appropriate speaking notes for Mayor and Council for upcoming events.
- CMS will work with the Arts Foundry to ensure that the key messaging about the MOU is shared consistently through similar channels on their end.

Key messaging will be provided to Civic Centre Reception and the Finance desk should they receive enquires from residents.

ALTERNATIVES:

1. That Council discuss alternative MOU content and direct Administration to return to Council with an amended MOU reflecting that discussion.
2. That the City of Leduc not enter into a Memorandum of Understanding with the Leduc Arts Foundry.

ATTACHMENTS:

Memorandum of Understanding

Others Who Have Reviewed this Report

D. Melvie, Acting, City Manager / G. Klenke, City Solicitor / I. Sasyniuk, General Manager, Corporate Services / D. Melvie, General Manager, Community & Protective Services / S. Olson, Acting, General Manager, Infrastructure & Planning / G. Damo, Acting, Director, Finance

This Memorandum of Understanding Dated this 10th day of June, 2019.

BETWEEN:

CITY OF LEDUC
(the "City")

-and-

LEDUC ARTS FOUNDRY SOCIETY
(the "Foundry")

WHEREAS the City and the Foundry:

- A. Recognize the important role of art and culture and how culture contributes to a healthy, sustainable, socially and economically viable community; and
- B. Recognize the current and ongoing need for creative spaces that support the viability of that role; and
- C. The parties are considering entering into a relationship to jointly address this need, but have not determined if a new legal entity will be created in the future or what type of entity would be most advantageous; and
- D. The parties want to set out the foundational principles of their work together and set out some respective rights and obligations relating to the ownership and management of intellectual property relating to an arts centre in Leduc.

NOW THEREFORE, the Parties have agreed to proceed as follows:

Definitions

- 1. In this MOU, the following definitions shall apply:
 - a) "Intellectual Property" means all intellectual property related to the Project, including, but not limited to, all concepts, plans, studies, and specifications relating to the Project;
 - b) "LAF" means Leduc Arts Foundry
 - c) "MOU" means this memorandum of understanding;
 - d) "Parties" means the City and the Foundry and "Party" means any one of them; and
 - e) "Project" means the joint planning initiative related to an arts centre in Leduc.

Role of Each Party

- 2. As the Parties are in the preliminary planning phase in determining their respective roles with respect to the Project, the Parties acknowledge that details regarding their relationship are to be determined. The Parties do not intend to create legally binding obligations. This MOU is a statement of our respective expectations not of enforceable obligations. However, the Parties acknowledge and agree that the following general principles shall apply;

- a) The Parties shall:
- i) always act with fairness, honesty, integrity and openness; respect the opinions of others and treat all with equality and dignity;
 - ii) cooperate to generate a supportive co-creative process that maximizes cultural, economic, social, and environmental sustainability;
 - iii) explore how skills, information, and connections can be leveraged ahead of capital expenditure;
 - iv) work together to identifying opportunities for integrated programs and projects;
- b) The City shall:
- i) continue to liaise with the Foundry for the purposes of:
 - 1. Providing community development support to the Leduc Arts Foundry;
 - 2. Ongoing assessment of the role of the City of Leduc in the Leduc Arts Foundry;
 - 3. Creating a communications plan that will guide both parties with consistent messaging; and
 - 4. Collectively negotiating partnership agreement and model based on a shared vision that makes sense for the whole community;
 - ii) commission a third-party, pre-development arts infrastructure study in Leduc to include:
 - 1. Needs Assessment of Leduc artists and community, providing an understanding of the current use and future opportunities for creative spaces in Leduc;
 - 2. Provide recommendations for an appropriate model for the City of Leduc, using current benchmarking of innovative arts centre models in similar sized municipalities;
 - iii) continue to explore the acquisition or designation of appropriate land/space to be used for the purposes of an arts centre, reflective of the Needs Assessment and other conclusions noted within the commissioned infrastructure study.
- c) The Foundry shall:
- i) perennially re-examine organizational governance for relevance, transparency, resilience;
 - ii) focus efforts on nurturing community support and building social equity for the arts by:
 - 1. Growing brand awareness through community engagement;
 - 2. Continue creating more opportunities for community members to experience the transformative power of the arts;
 - 3. Letting others share their story to express the social and economic benefits of art;
 - 4. Cultivating capacity in other arts organizations – building community around the project with community through collaborative effort and involvement;
 - 5. Practicing, sharing, growing personal artistic practice in public ways; and

6. Developing partnerships with no expected return on investment.

Intellectual Property Rights

3. The Parties acknowledge and agree that any research, concepts, plans, studies, specifications, and creative products related to the Project that are authored or commissioned by the City shall be legally owned by the City; and that any research, concepts, plans, studies, specifications, and creative products related to the Project that are authored or commissioned by the Foundry shall be legally owned by the Foundry.
4. Any third party that desires to use any of the Intellectual Property must receive the prior written consent of the City and the Foundry prior to using such Intellectual Property.
5. Neither Party may transfer its interest in the Intellectual Property without the other Party's written consent.

General

6. This MOU shall be construed and governed by the laws of the Province of Alberta and the laws of Canada applicable therein and the parties irrevocably attorn to the exclusive jurisdiction of the Courts of the Province of Alberta but in any event is not intended to create legally enforceable obligations.
7. This MOU may be executed and delivered in any number of counterparts, by facsimile copy, by electronic or digital signature or by other written acknowledgement of consent and agreement to be legally bound by its terms. Each counterpart when executed and delivered will be considered an original but all counterparts taken together constitute one and the same instrument.
8. The term of this MOU shall be in effect from the date of execution until **June 10, 2021**, unless the Parties agree otherwise in writing.

Agreed to on the day and year first above written.

CITY OF LEDUC

Per: _____

LEDUC ARTS FOUNDRY SOCIETY

Per: _____

MEETING DATE: June 10, 2019

SUBMITTED BY: Ken Woitt, Director, Planning & Development

PREPARED BY: April Renneberg, Current Planner II

REPORT TITLE: Bylaw 1013-2018 (Redistricting Meadowview Stage 17) (1st Reading)

REPORT SUMMARY

Bylaw 1013-2018 will amend Bylaw 809-2013, Section 27.0 – Land Use Map, by redistricting part of the SW ¼ Section 24-49-25-W4 from UR – Urban Reserve to RNL – Residential Narrow Lot and GR – General Recreation. The redistricting will allow for continued residential development in the Meadowview neighbourhood.

RECOMMENDATION

That Council give Bylaw 1013-2018 first reading

BACKGROUND

KEY ISSUE(S) / CONTEXT:

The RNL land use district is intended to accommodate residential dwellings on narrower lots, providing an opportunity for more efficient use of land and a more compact urban form. The GR land use district is intended to accommodate areas used for public parks to meet active or passive recreational and leisure pursuits at neighbourhood, district and regional levels. Meadowview Stage 17 proposes 2 lots for park, 38 lots for standard single detached dwellings and 41 lots for single detached dwellings with a zero-metre side yard.

Zero lot line parcels are those where the single detached dwelling is located directly on the side property boundary on one side of the lot. These types of buildings have specific development requirements. The City of Leduc requires a 1.5 m easement registered on the adjacent property to allow for encroachment of eaves, drainage and general access for maintenance purposes. This easement is registered along with the subdivision of the lands. In order to encourage fire safety, the Alberta Building Code requires that side of the building to have fire-rated drywall as well as restriction on wall penetrations such as windows; doors; dryer, furnace, water heater and fireplace vents; and fresh air intakes. Under Land Use Bylaw 809-2013 the minimum lot width for a single detached dwelling with a zero metre side yard with access to a lane is 7.6 m. Standard front drive single detached lots must be a minimum of 11.0 m wide.

The City's Subdivision Authority has given conditional approval to the subdivision application. The redistricting of these lots by City Council to the RNL and GR land use district under Land Use Bylaw 809-2013 is a condition of subdivision, as is the successful negotiation by administration of a development agreement between the City and the developer of the lands. Until these and all other conditions of the subdivision are met, the subdivision will not be endorsed by administration nor registered at Land Titles.

An amendment to the Southeast Leduc Area Structure Plan (ASP) is also being brought to Council under Bylaw 1027-2019 for consideration at this meeting. The amendment proposes a reconfiguration of land uses as well as the collector road network within the Tribute and Meadowview neighbourhoods. Bylaw 1013-2018 is consistent with this proposed amendment. Should Council not approve Bylaw 1027-2019, amending the Southeast Leduc ASP, administration will not recommend Bylaw 1013-2018 be given third reading.

LEGISLATION AND/OR POLICY:

1. Municipal Government Act, RSA 2000, Chapter M-26, as amended
 - S. 640(2)(a) requires a municipality be divided into land use districts.
 - S. 606 and S. 692 govern the requirements for advertising a bylaw. More specifically, S. 692(4) outlines those additional advertising requirements for a bylaw changing the land use district designation of a parcel of land.
2. Land Use Bylaw 809-2013, as amended

PAST COUNCIL CONSIDERATION:

Bylaw 1013-2018 is before Council for the first time.

CITY OF LEDUC PLANS:

Bylaw 1013-2018 is consistent with the City's Municipal Development Plan, as amended and the proposed amendment to the Southeast Leduc Area Structure Plan brought forward to Council as Bylaw 1027-2019. The redistricting is also in keeping with the City's 2009 Neighbourhood Design Guidelines which encourage a mix of housing types, sizes and affordability, along with proximity to open park space and neighbourhood walkability.

IMPLICATIONS OF RECOMMENDATION

ORGANIZATIONAL:

The City's Engineering department is scheduled to begin work on the South Boundary Road construction project this year. The project is designed to provide an arterial connection from Highway 2A to this stage of development in order to complete the link into the Meadowview and Tribute neighbourhoods. Should Bylaw 1013-2018 not be approved by Council, the City's subdivision authority will not endorse the subdivision and this road extension project will be negatively affected.

POLICY:

There are no policy implications.

IMPLEMENTATION / COMMUNICATIONS:

A public hearing for Bylaw 1013-2018 is scheduled for June 24, 2019. The hearing will be advertised in the June 7 and 14, 2019 issues of 'The Representative' and notices will be mailed to property owners within 61.0 m of the subject area.

ALTERNATIVES:

1. That Council defeat Bylaw 1013-2018.

ATTACHMENTS:

1. Bylaw 1013-2018
2. Key Plan
3. Redistricting Plan
4. Subdivision Plan

Others Who Have Reviewed this Report

P. Benedetto, City Manager / G. Klenke, City Solicitor / S. Olson, Acting, General Manager, Infrastructure & Planning

Bylaw No. 1013-2018

AMENDMENT #92 - TO BYLAW NO. 809-2013, THE LAND USE BYLAW

The *Municipal Government Act*, R.S.A. 2000, Chapter M-26, as amended (the "Act") grants a municipality the authority to pass a Land Use Bylaw;

AND: in accordance with the Act, the City of Leduc passed Land Use Bylaw No. 809-2013 to regulate and control the use and development of land and buildings in the City of Leduc, and the Council has deemed it expedient and necessary to amend Bylaw No. 809-2013;

AND: notice of intention to pass this bylaw has been given and a public hearing has been held in accordance with the Act;

THEREFORE: the Council of the City of Leduc in the Province of Alberta duly assembled hereby enacts as follows:

PART I: APPLICATION

- 1. **THAT:** Bylaw No. 809-2013, the Land Use Bylaw, is amended by this Bylaw.
- 2. **THAT:** the Land Use Map, attached to and being part of the Land Use Bylaw of the City of Leduc, be amended by reclassifying:

Part of the SW ¼ Section 24-49-25-W4
(consisting of 6.20 ha more or less)

From: UR – Urban Reserve
To: RNL – Residential Narrow Lot
GR – General Recreation

as shown in Schedule A, attached hereto and forming part of this bylaw.

PART II: ENACTMENT

This Bylaw shall come into force and effect when it receives Third Reading and is duly signed.

READ A FIRST TIME IN COUNCIL THIS ____ DAY OF _____, AD 2019.

READ A SECOND TIME IN COUNCIL THIS ____ DAY OF _____, AD 2019.

READ A THIRD TIME IN COUNCIL AND FINALLY PASSED THIS ____ DAY OF _____, AD 2019.

Date Signed

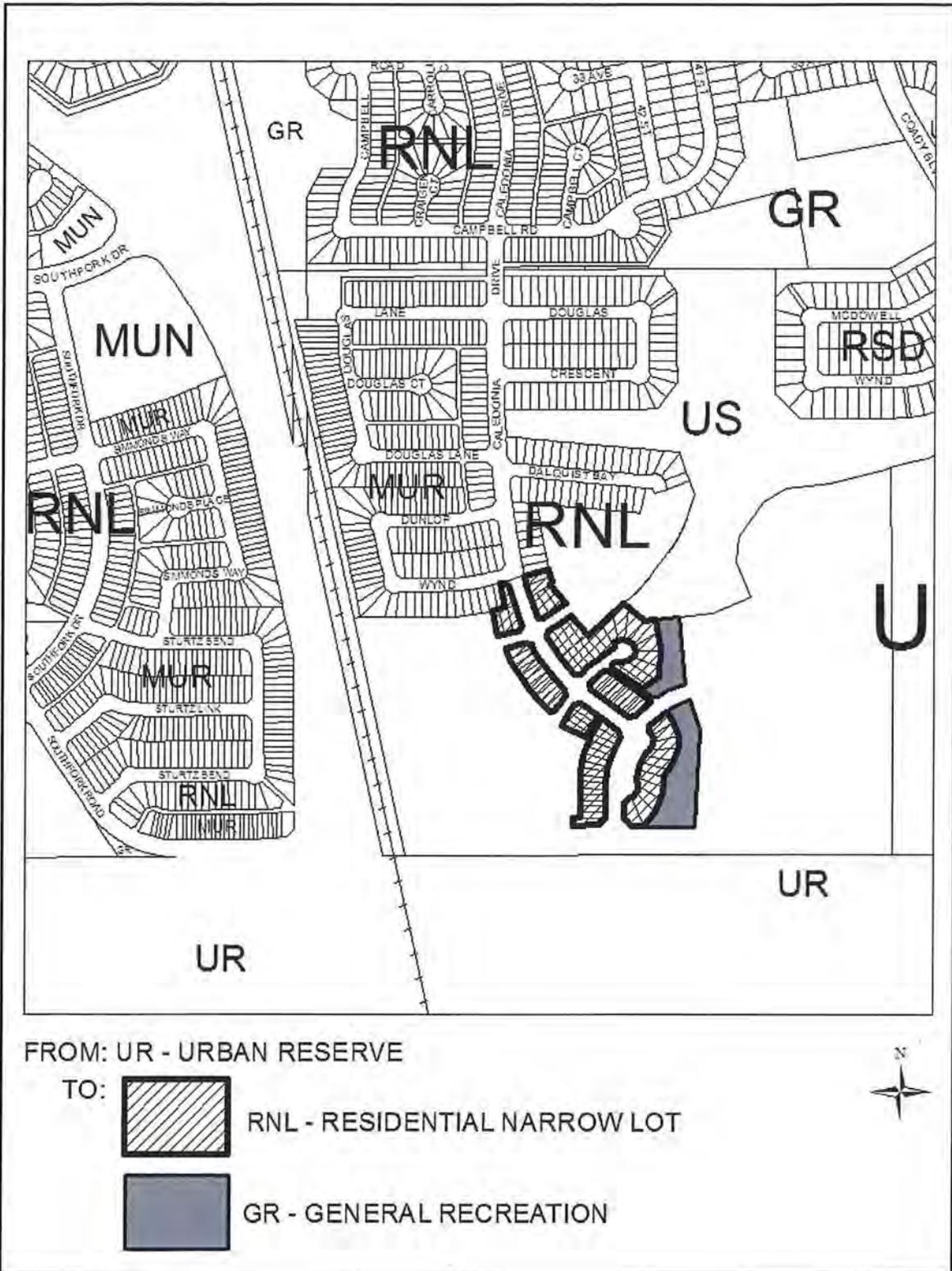
APPROVED
As to Form
 G.K

City Solicitor

Robert Young
MAYOR

Sandra Davis
CITY CLERK

SCHEDULE A



KEY PLAN

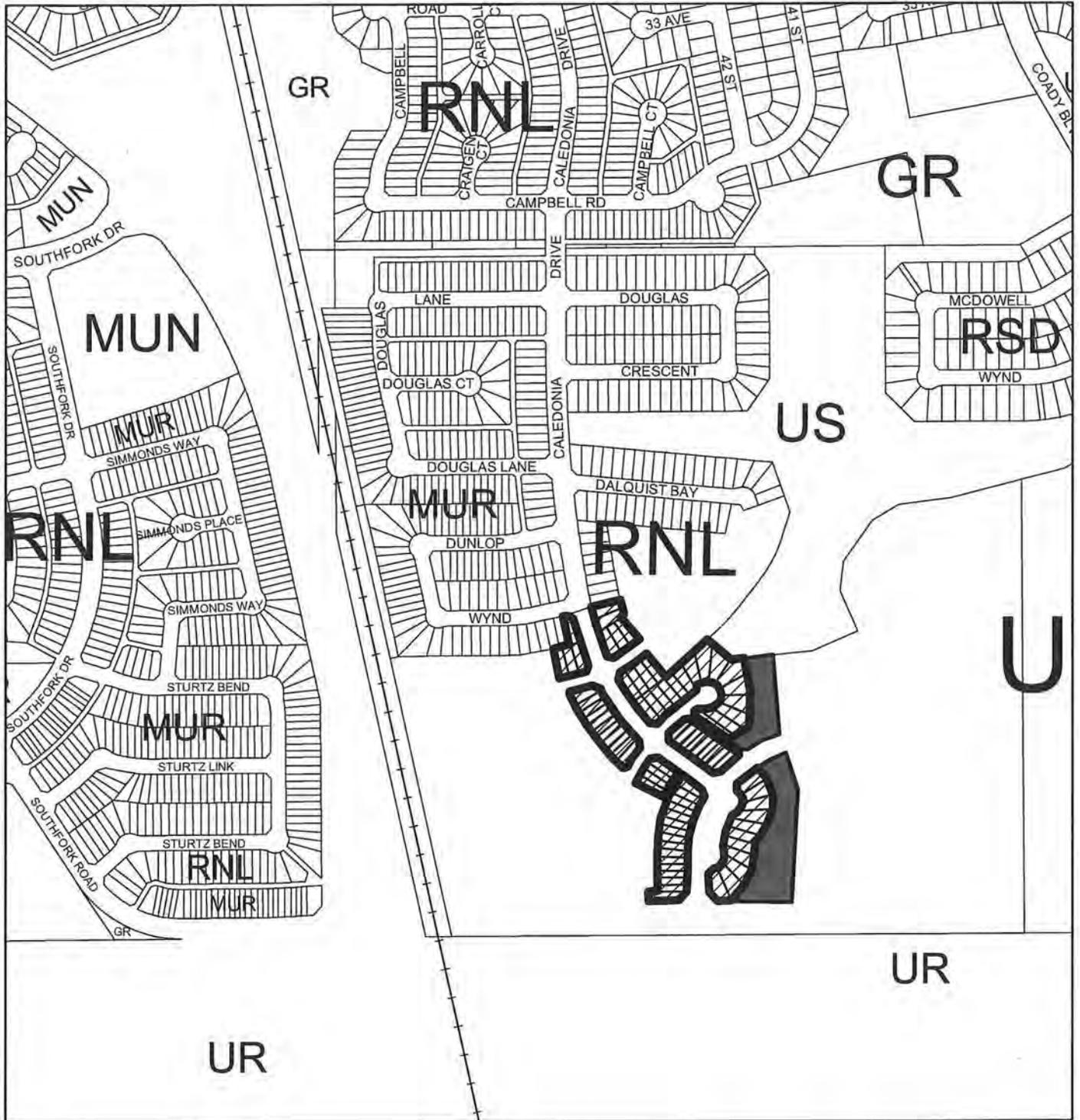
ATTACHMENT 2



SUBJECT AREA

REDISTRICTING PLAN

ATTACHMENT 3



FROM: UR - URBAN RESERVE

TO:



RNL - RESIDENTIAL NARROW LOT



GR - GENERAL RECREATION





Stage Breakdown:

RNL-Front Garage, Standard	
30'	3
28'	35
Total:	38

RNL-Rear Garage, Zero Lot Line	
24'	3
22'	14
20'	24
Total:	41

TOTAL UNITS: 79

Land Use Breakdown:

Title Area (COT 072 697 234 +87)
SW-24-29-25-W4M: **29.72 ha**

Stage Areas	
Road Area	2.00 ha
MR Area	1.06 ha
RNL Area	3.14 ha

Total Area 6.20 ha
(Remnant Parcel 23.52 ha)

February 26, 2019

Tribute Stage 9

Job #6169

- ▬▬▬ SUBDIVISION BOUNDARY
- RNL (Front Garage, Standard Lot)
- RNL (Rear Garage, Zero Lot Line)
- Municipal Reserve

SW-24-29-25-W4M
Tentative Plan of Subdivision
in Leduc, Alberta

QUALICO communities
Building Pockets Measured at Minimum Setback Except Where Noted
* Asterisk Indicates Minimum Building Pockets For Irregular Lots

Note: All dimensions and areas shown herein to be confirmed by legal survey prior to registration. Future areas are shown conceptually and are subject to revision.



Scale: 1:2,000

MEETING DATE: June 10, 2019

SUBMITTED BY: Ken Woitt – Director, Planning & Development

PREPARED BY: April Renneberg – Current Planner II

REPORT TITLE: Bylaw No. 1027-2019 (Southeast Leduc Area Structure Plan Amendment) (1st Reading)

REPORT SUMMARY

Bylaw 1027-2019 will amend Bylaw 883-2015, being the Southeast Leduc Area Structure Plan, for part of the NE ¼ and South ½ Section 24-49-25-W4.

RECOMMENDATION

That Council give Bylaw 1027-2019 first reading.

BACKGROUND

KEY ISSUE(S) / CONTEXT:

An area structure plan (ASP) provides the framework for subsequent subdivision and development of an area of land within a municipality. The Southeast Leduc ASP describes the sequence of development anticipated for the lands located within the Tribute and Meadowview neighbourhoods, as well as the land uses proposed for the area and the general locations of major transportation routes and public utilities. The bylaw adopting the original Southeast Leduc ASP in 1992 was amended over the years and was replaced in 2015 by an updated and consolidated version. Bylaw 1027-2019 seeks to amend the updated ASP to respond to current development trends. The ASP includes a mix of low and medium density residential land uses, along with a school site, local parks, servicing infrastructure, roads and multiway connections to service the community.

This proposed amendment to the Southeast Leduc ASP seeks to redistribute land uses and reconfigure the road network to continue to allow orderly and efficient development and transportation patterns. These changes are focused in the southern portion of the plan area which, and this point in time, remains undeveloped. Bylaw 1027-2019 reconfigures the internal collector road network to allow for a connection to the South Boundary Road with an upcoming stage of subdivision. Medium density residential sites and local park spaces are also being redistributed throughout this area.

The amendment also proposes to move the K-9 school site further west, adjacent to an upcoming stage of subdivision. As servicing will be more readily available, this will allow the site to be more quickly developed should a funding announcement be made by Alberta Education. The proposed school site is bisected by the Keyera Rimbey Pipeline. A Risk Assessment was conducted for the pipeline in 2018, a copy of which is included as Attachment 5. The document was reviewed by various City departments as well as the public and Catholic school boards, and possible site designs were submitted by the applicant showing how the school building and fields could be developed around the utility right-of-way. These example site designs have also been included for reference as attachments to this report. When asked directly about their concerns with the site, the school boards made no issue of the location of the pipeline and noted that they would consider the site for school development should provincial funding be made available. As there is no H₂S product carried in the pipeline and the school fields are not occupied 24 hours a day, administration also finds the level of risk to be acceptable. After significant discussion, administration is supportive of the school site as proposed in the amended ASP.

A public open house, to be advertised in accordance with City policy, is scheduled for May 22, 2019. At the time of submission of this report, no further information was available.

LEGISLATION AND/OR POLICY:

1. Municipal Government Act, RSA 2000, Chapter M-26, as amended
 - S. 633 outlines the parameters for adopting Council adopting an area structure plan, as well as the required contents and consistency of such a plan.
2. Regional Evaluation Framework, Edmonton Metropolitan Region Growth Plan
 - S. 4.2 outlines under what conditions an amendment to a statutory plan is to be referred to the Edmonton Metropolitan Region Board (EMRB) for approval prior to receiving third reading by Council.
 - As Conditions (a) through (k) of Section 4.2 are not applicable to this proposed amendment, the ASP amendment does not need to be submitted to the EMRB for review.

PAST COUNCIL CONSIDERATION:

Bylaw 1027-2019 is before Council for the first time.

CITY OF LEDUC PLANS:

Bylaw 1027-2019 is consistent with the City's Municipal Development Plan, as amended and the City of Leduc-Leduc County Intermunicipal Development Plan, as amended. The proposed bylaw also follows the principles of the City's 2009 Neighbourhood Design Guidelines which encourage a mix of housing types, sizes and affordability, along with proximity to open park space and neighbourhood walkability.

IMPLICATIONS OF RECOMMENDATION

ORGANIZATIONAL:

There are no organizational implications.

POLICY:

Land Use Bylaw Section 20.3.2.1. currently requires a minimum setback from the Keyera Rimbey Pipeline to a permanent structure other than a dwelling of 7.5 m. If Council approves the amendment to the Southeast Leduc ASP proposed in Bylaw 1027-2019, administration must amend the Land Use Bylaw to better reflect the minimum distance of acceptable risk from the pipeline to a school structure as outlined in the associated Risk Assessment.

IMPLEMENTATION / COMMUNICATIONS:

The public hearing is scheduled for June 24, 2019. The hearing will be advertised in the June 7 and 14, 2019 issues of 'The Representative'. Notices will also be sent to landowners within 61 m of the undeveloped lands most affected by the application.

ALTERNATIVES:

1. That Council defeat Bylaw 1027-2019.

ATTACHED REPORTS / DOCUMENTS:

1. Bylaw 1027-2019
2. Key Plan
3. Land Use Concept (Approved ASP)
4. Land Use Concept (Proposed ASP Amendment)
5. Risk Assessment (Keyera Rimbey Pipeline)
6. School Site Design Examples

Others Who Have Reviewed this Report

D. Melvie, Acting, City Manager / G. Klenke, City Solicitor / M. Pieters, General Manager, Infrastructure & Planning

AMENDMENT TO SOUTHEAST LEDUC AREA STRUCTURE PLAN, BYLAW NO. 883-2015

The *Municipal Government Act*, R.S.A. 2000, Chapter M-26, as amended (the "Act") grants a municipality the authority to adopt by Bylaw an Area Structure Plan for the purpose of providing a framework for subsequent subdivision and development of an area of land in a municipality;

AND: Bylaw No. 883-2015 adopts the Southeast Leduc Area Structure Plan, passed by Council on February 9, 2015;

AND: Council has deemed it expedient and necessary to amend Bylaw No. 883-2015;

AND: notice of intention to pass this bylaw has been given and a public hearing has been held in accordance with the Act;

THEREFORE: the Council of the City of Leduc in the Province of Alberta duly assembled hereby enacts as follows:

PART II: APPLICATION

1. **THAT:** That Bylaw 883-2015 be amended by replacing Schedule "A" with Schedule "A" as attached in Bylaw 1027-2019.

PART III: ENACTMENT

2. This Bylaw shall come into force and effect when it receives Third Reading and is duly signed.

READ A FIRST TIME IN COUNCIL THIS ____ OF _____, AD 2019.

READ A SECOND TIME IN COUNCIL THIS ____ DAY OF _____, AD 2019.

READ A THIRD TIME IN COUNCIL AND FINALLY PASSED THIS ____ DAY OF _____, AD 2019.

Robert Young
MAYOR

Sandra Davis
CITY CLERK

Date Signed

APPROVED
As to Form
G. K

City Solicitor

Area Structure Plan



Southeast Leduc Area Structure Plan

In the City of Leduc, Alberta

April 2019

Prepared for:

QUALICO[®]
communities

Report No. 6162(C)-03



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Letter of Transmittal

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Appendix A – Maps

Appendix B – Land Use Statistics, Population and Student Generation Tables

MAPS

Map 1 – Location

Map 2 – Context

Map 3 – Topography and Natural Features

Map 4 – Development Concept

Map 5 – Municipal Reserve and Multiway Network

Map 6 – Transportation Network

Map 7 – Water Distribution Network

Map 8 – Sanitary Sewer

Map 9 – Storm Water Management

Map 10 – Development Staging

TABLES

Table 1 – Development Statistics..... **Appendix B**

Table 2 – Residential Areas, Unit Count & Population..... **Appendix B**

Table 3 – Student Generation..... **Appendix B**

1.0 Introduction

1.1 Purpose

This Plan was consolidated in 2015 (Bylaw 883-2015). The purpose of the 2015 consolidation was to integrate the South East Leduc Area Structure Plan first approved by council in 1993 (Bylaw 268-92) with all subsequent amendments. ASP amendments were enacted in 2003 (Bylaw 535-2003), 2005 (Bylaw 615-2005), 2007 (Bylaw 674-2007), and 2013 (811-2013). Amendments to the ASP proposed in 2018 have been incorporated into this plan. Upon approval of the ASP by City Council, all previous ASP documents are rescinded.

The timeline of development is expected to be approximately ten years. This plan supports the expansion of residential opportunities in the City of Leduc to address current and future housing demand in an orderly, predictable and timely fashion. Development timelines are subject to market demand.

1.2 Background

This ASP encompasses approximately 141.12 gross hectares. Roughly 66.22 ha of the area has been developed and remains included in this ASP to keep statistics and Municipal Reserve (MR) requirements in line with previous calculations and dedications. The subdivided and developed areas at the time of this ASP writing are shown via inclusion of registered lotting information on **Maps 2 to 10**.

The majority of undeveloped lands within the ASP limits (some 74.90 hectares) are zoned UR-Urban Reserve. Previous subdivision approvals have rezoned portions of these lands to Residential Narrow Lot (RNL), Residential Standard District (RSD) Mixed-Use Residential (MUR), Urban Service (US), and General Recreation (GR) as shown in Leduc's Land Use Bylaw 809-2013.

1.3 Location and Ownership

The Plan area is located in the City of Leduc within the NE, SE and SW quarters of 24-49-25 West of the 4th Meridian (see **Map 1-Location**). The subject lands are under the ownership of Qualico Developments West Ltd, excepting public space previously dedicated to the City of Leduc and the registered lots which have been sold to builders and homeowners. The Plan area extends to the southern boundary of the City of Leduc.

2.0 Site Features

2.1 Existing Conditions

2.1.1 Topography

The Plan area is generally quite flat, sloping gently from the southeast down towards the northwest. The elevation change from the east to the west is approximately eight to twelve meters over the ±1,600 meter wide site. Topographical contour information is shown on **Map 3-Topography and Natural Features**.

2.1.2 Natural Features

Natural drainage flows from the southeast to the northwest. No clearly defined or intermittent water courses are found within the Plan area. Most of the land has historically been cleared for agricultural purposes. Some tree stands typical of farmsteads, fence lines and windrows are present. The largest of these tree stands has been retained in this ASP through Municipal Reserve lots. The tree stands are shown on **Map 3**.

2.1.3 Adjacent Development

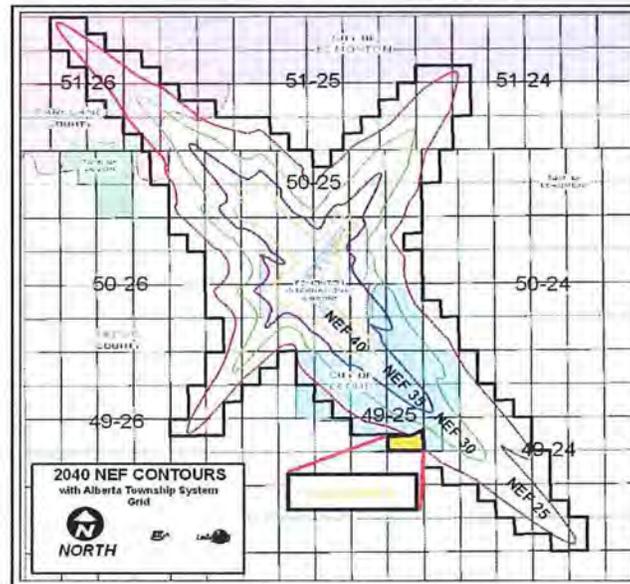
The Southeast Leduc area is located on the southern edge of residential development in Leduc. It is bounded to the south by the Leduc City limits and the South Boundary Road arterial. The western edge is delineated by the CP Rail mainline and Highway 2A.

Lands to the south are agricultural and undeveloped. The community of Southfork is located west of the CP Rail line. To the east is the community of Robinson currently under development containing mixed-use and traditional single detached housing. The residential communities surrounding the Plan area are composed of traditional single detached housing, parks, urban services (emergency/fire services, schools, places of worship, storm water management facilities), and community-scale commercial establishments.

To the northwest is the community of Corinthia Park located west of 50th Street which contains the Corinthia Park School, a performing arts centre and Kinsmen Park, as well as some commercial services. The community of Caledonia is located directly north of the Plan area. Caledonia contains primarily single detached housing with school and church facilities, park spaces and storm water facilities and extends north to Rollyview Road. North of Rollyview Road is the community of South Park and an expansive park space, the Leduc Recreation Centre, and Telford Lake. Some condominiums (medium density multi-family housing) have been constructed on the north side of Rollyview Road.

The majority of housing between the north boundary of the Plan area and Rollyview Road are traditional single detached lots. Along the north portion of the ASP area Residential Narrow Lot (RNL) housing has been developed. Along the west boundary of the ASP area are duplex housing units in a Mixed-Use (MU) district. The trend of increasing housing density and land use efficiency has been embraced in this Plan to promote sustainability, inclusivity, housing product choice, and a significant range of affordability.

The Edmonton International Airport Vicinity Protection Area Regulation (AVPAR-AR 55/2006) establishes land use restrictions related to noise levels generated by airport operations. The entire ASP area falls below the NEF 30 contour. NEF (Noise Exposure Forecast) contours range from NEF 40 to NEF 25 with NEF 40 being the most heavily restricted area. Therefore, the only restricted land use is "campground", which is not proposed within this Plan.



Above: Edmonton International Airport Vicinity Protection Area NEF Contours from AVPAR-AR 55/2006

2.1.4 Existing Development

At the time of the writing of this ASP, the portions of the Plan area that have been constructed are located along the northern boundary. Single detached residential has been located on either side of Caledonia Drive, Coady Boulevard, and Meadowview Drive. A large storm water management facility (SWMF) has been partially constructed between Caledonia Drive and Coady Boulevard. Both a school (Caledonia Park School) and a church have been developed on Coady Boulevard (See **Map 4-Development Concept**). Subdivided parcels are indicated by legal lines.

2.1.5 Rimbey/Keyera Pipeline

A high pressure petroleum products pipeline bisects the Plan area from the southwest to northeast (See **Map 2-Context**). No proposal exists to decommission or relocate the pipeline. Setback requirements from this pipeline as per Leduc's Land Use Bylaw are 15.0m from either the centre line of the right-of-way or from the centre of the pipeline, whichever is the lesser.

A risk assessment was completed by Thompson Environmental Consulting in 2018 to assess required setbacks to proposed school facilities. This risk assessment concluded that a safe building setback of 12m from the pipeline is required. This assessment is below the Leduc Land Use Bylaw requirements are required on either side of the right-of-way for any institutional public use. Therefore, the Land Use Bylaw setback requirement shall be adhered to.

2.2 Policy Context and Statutory Compliance

Since the inception of the original South East Leduc ASP a number of statutory documents have been updated and initiated. This ASP recognizes the current planning context within the City of Leduc and surrounding areas.

Municipal Government Act (MGA)

The Municipal Government Act (MGA) outlines the requirements of Area Structure Plans. The compliance of the ASP with the MGA is mandatory. This plan conforms to the MGA section 633(2) in that it:

- a. Must describe
 - I. Describes the sequence of development proposed for the area;
 - II. Land uses proposed;
 - III. Density of Population proposed; and,
 - IV. The general location of major transportation routes and public utilities; and
- b. May contain any other matters, including matters relating to reserves, as the council considers necessary.

Edmonton Metropolitan Region Growth Plan (2016)

This Plan does not require referral to the Edmonton Metropolitan Region Board under Ministerial Order L:270/10. Plans previously approved under the Capital Region Board (CRB) shall be grandfathered under the previous CRB policies, except in any case of proposed reduction of residential densities. However, the intent of the SE Leduc ASP continues to be aligned with the intent of the Edmonton Metropolitan Region Growth Plan (EMRGP). Proposed residential densities have increased from previous approved plans. This Plan supports the key regional Vision and Strategic Principles of the EMRGP as summarized below.

Guiding Principles and Objectives	ASP Outcomes
<p>I. PROMOTE GLOBAL ECONOMIC COMPETITIVENESS AND REGIONAL PROSPERITY</p> <p>1.1 Promote global economic competitiveness and diversification of the regional economy</p> <p>1.2 Promote job growth and the competitiveness of the Region's employment base</p> <p>1.3 Enhance competitiveness through the efficient movement of people, goods and services to, from, and within the Region</p> <p>1.4 Promote the livability and prosperity of the Region and plan for the needs of a changing population and workforce</p>	<ul style="list-style-type: none"> • This plan provides housing to support the expansion of economic centres in the Metro Region (Edmonton International Airport, Nisku, and Edmonton). • Increased population requires housing investment and business growth to service expanding needs of all residents. • Expanding residential opportunities in Leduc for local employees may help to relieve commuting pressure on QEII Highway between Edmonton and Leduc. • Construction of the required arterial road south of the Plan area shall enhance the local road network. • The City of Leduc provides extensive urban amenities in a small town environment. Southeast Leduc supports this by providing modern urban living with a distinctive and appealing small town suburban form.
<p>II. PROTECT NATURAL LIVING SYSTEMS AND ENVIRONMENTAL ASSETS</p>	<ul style="list-style-type: none"> • Significant tree stands will be protected wherever possible.



<p>2.1 Conserve and restore natural living systems through an ecological network approach</p> <p>2.2 Protect regional watershed health, water quality and quantity</p> <p>2.3 Plan development to promote clean air, land and water and address climate change impacts</p> <p>2.4 Minimize and mitigate the impacts of regional growth on natural living systems</p>	<ul style="list-style-type: none"> • The storm water management facility will minimize negative runoff impacts on regional watersheds. • Storm water management to reduce impacts of flooding or other extreme weather events associated with climate change. • Alternative transportation is supported by the trail and park network and may result in a reduction of greenhouse gas emissions, air pollution, by reducing automobile use. • Increased residential densities compared to mature Leduc communities to reduce the rate of land consumption while still providing desirable housing.
<p>III. RECOGNIZE AND CELEBRATE THE DIVERSITY OF COMMUNITIES AND PROMOTE AN EXCELLENT QUALITY OF LIFE ACROSS THE REGION</p> <p>3.1 Plan and develop complete communities within each policy tier to accommodate people's daily needs for living at all ages</p> <p>Leduc is located within the <i>Metropolitan Area</i> policy tier of the EMRGP. This Policy Tier entails:</p> <ul style="list-style-type: none"> ○ Urban service levels ○ Contiguous urban settlement ○ Major employment areas ○ Cultural, health, and major commercial centres ○ Regional commuter transit and varying levels of local service <p>3.2 Plan for and promote a range of housing options</p> <p>3.3 Plan for and promote market affordable housing and non-market housing to address core housing need</p>	<ul style="list-style-type: none"> • The Plan area supports all expectations for development within the Metropolitan Area by logically extending existing infrastructure near employment and institutions and is easily serviceable by bus transit. • This ASP supports strong inclusive community through a wide range of housing options from single family, to semi-detached and townhomes. • Housing is provided at market prices. Affordability of the housing is increased through developing the ASP as a higher density and with more medium density housing than older areas of Leduc.
<p>IV. ACHIEVE COMPACT GROWTH THAT OPTIMIZES INFRASTRUCTURE INVESTMENT</p> <p>4.1 Establish a compact and contiguous development pattern to accommodate employment and population growth</p> <p>4.2 Enable growth within built-up urban areas to optimize existing infrastructure and minimize the expansion of the development footprint</p> <p>4.3 Plan and develop greenfield areas in an orderly and phased manner to contribute to complete communities</p> <p>4.4 Plan for and accommodate rural growth in appropriate locations with sustainable levels of servicing</p> <p>4.5 Plan for and develop mixed use and higher density centres as areas to concentrate growth</p>	<ul style="list-style-type: none"> • This ASP logically extends residential development and contiguous infrastructure. • The proposed development is entirely within the City limits of Leduc. • This greenfield development includes a variety of residential options, recreation amenities, and a future school site. All factors contribute to a complete community in Southeast Leduc. • This ASP was first created under the Capital Region Board. At that time, the ASP was located within Priority Growth Area (PGA) E with a minimum density target of 25 units per net residential hectare. The proposed ASP density of 27.2 per net hectare is higher than the CRGP minimum density for this PGA. As well, the 5,788 projected residents represent about 16 percent of CRB high projection of 36,300 for the City of Leduc. All previous plan



<p>of people and jobs</p> <p>4.6 Prioritize investment and funding of regional infrastructure to support planned growth</p> <p>4.7 Ensure compatible land use patterns to minimize risks to public safety and health</p>	<p>approvals are grandfathered in under the Edmonton Metropolitan Region Board. This plan strives to achieve the highest densities possible within the approved land use pattern.</p> <ul style="list-style-type: none"> • Construction of the required arterial road south of the Plan area shall enhance the local road network and be timed to support properly phased development. • All proposed land uses are compatible. A risk assessment has been completed to confirm the safety of development adjacent to the Keyera Pipeline.
<p>V. ENSURE EFFECTIVE REGIONAL MOBILITY</p> <p>5.1 Develop a regional transportation system to support and enhance growth and regional and global connectivity</p> <p>5.2 Encourage a mode shift to transit, high occupancy vehicles and active transportation modes as viable and attractive alternatives to private automobile travel, appropriate to the scale of the community</p> <p>5.3 Coordinate and integrate land use and transportation facilities and services to support the efficient and safe movement of people, good and services in both urban and rural areas</p> <p>5.4 Support the Edmonton International Airport as Northern Alberta's primary air gateway to the world</p> <p>5.5 Ensure effective coordination of regional transportation policies and initiatives between all jurisdictions</p>	<ul style="list-style-type: none"> • Regional transportation to support the development includes construction of the arterial along the ASP south boundary. • The ASP area provides an adequate network for transit. Alternative transportation is supported by the provision of sidewalks and multi-use trails. • The Plan complies with all Edmonton International Airport policies and provides a large local labor pool.
<p>VI. ENSURE THE WISE MANAGEMENT PRACTICES OF PRIME AGRICULTURAL RESOURCES</p> <p>6.1 Identify and conserve an adequate supply of prime agricultural lands to provide a secure local food source for future generations</p> <p>6.2 Minimize the fragmentation and conversion of prime agricultural lands for non-agricultural uses</p> <p>6.3 Promote diversification and value-added agriculture production and plan infrastructure to support the agricultural sector and regional food system</p>	<ul style="list-style-type: none"> • This ASP is located within the City of Leduc. No additional expansion into agricultural lands is required. • All proposed development follows logical extension of residential development in Leduc. Land fragmentation of agricultural land is strictly avoided. • Residents in Leduc are well positioned to be employed in nearby agricultural operations.

City of Leduc 2012 Municipal Development Plan (MDP)

A selection of relevant MDP policies and the anticipated ASP outcomes is included below.

Policy	ASP Outcomes
2-ENVIRONMENT AND INFRASTRUCTURE <i>Safe and sustainable systems</i>	This ASP incorporates open space connectivity to encourage pedestrian activity and alternative transportation. Traffic calming is provided by means of staggered intersections and gentle road curves to help keep the streets safe for pedestrians.
ENVIRONMENTAL PRIORITIES (p.23) <i>"...shifting towards alternative modes of transportation."</i>	The strategic location of Medium Density Residential sites nearby to the school site and multiway network is designed to encourage pedestrian and cycling activity.
2B-CLEAN AIR AND GREENHOUSE GAS EMISSIONS <i>"... active modes of travel such a walking and cycling through integrated planning and the promotion of compact urban form and mixed land use"</i>	The layout of the community promotes walkability and cycling in both commuting and recreational respects. MDR sites located near the school and trail systems are also adjacent to single-family neighbourhoods and support active transportation modes by all residents. An accessible pedestrian greenway is protected through the plan area.
4B) GENERAL LAND USE PLANNING 12- <i>"Providing for new residential neighbourhoods with a variety of housing types which have full access to a complete range of municipal infrastructure, community services, open space, recreational facilities, and educational institutions."</i>	Services and facilities are located within walking distance of most residences which allows for reduced dependency on the automobile. Park spaces are centrally located to encourage local recreational use. Educational institutions for residents are to be provided within the community.
4E) NEW RESIDENTIAL DEVELOPMENT 11- <i>"Protecting and creating access to adjacent neighbourhoods, natural amenities, open space, and the multi-way system"</i>	The community design incorporates strong connectivity to surrounding areas and internal connectivity between open spaces and residential areas.
4H) TRANSPORTATION AND UTILITY INFRASTRUCTURE 2- <i>"Investing strategically in new infrastructure where coordination of service provision with compact urban form and efficient land use will result in long term economic, social, aesthetic and environmental benefits to the community."</i> 15- <i>"Integrating pedestrian infrastructure such as sidewalks, trails, pathways and the multiway system into the overall transportation network"</i> 16- <i>"Promoting safety on streets and sidewalks with traffic control measures, snow clearing and ice control, street lighting and pedestrian oriented streetscapes."</i>	The integration of trails, the multiway system, open spaces and sidewalks into the overall design concept encourages walkability within the community. Traffic calming measures such as staggered intersections and limited straight through roadways help to promote the walkability of the community. Utilizing the hierarchy of roads with a majority being local and collector roads rather than arterials helps to create a sense of safety, community and place.
6A) ACTIVE AND HEALTHY COMMUNITY 3- <i>"Developing the multiway system as a complete network that promotes walkability and links residential subdivisions, recreation and cultural destinations, hubs of commerce, and high activity areas."</i>	The multiway system links various residential neighbourhoods and is incorporated as part of the overall linked open space network. The high pressure pipeline rights-of-way open space provides an opportunity to extend the multiway system along the pipeline.

<p>6C) HIGH QUALITY, SAFE AND ACCESSIBLE PUBLIC OPEN SPACES 2- <i>"Locating parks, playgrounds, public open space and multiway trail heads so they are highly visible as well as easily and safely accessible for pedestrians and cyclists."</i> 3- <i>"Promoting safety in parks and the multiway system with accessible design, snow clearing and ice control, street lighting and pedestrian oriented design."</i></p>	<p>The park system has been designed as a central element of the community. Strong connections exist between the various park spaces to encourage interaction between the various spaces and land uses. The strategically placed trail heads allow for an integrated trail system that links with the City system. Park safety is achieved through design and incorporates CPTED (Crime Prevention Through Environmental Design) strategies. The majority of the parks flank neighbourhood roads and residential lots which help open up the spaces to the community and increase the "eyes on the space".</p>
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Our Sense of Place-Neighbourhood Design Strategy (2009)

Leduc's Neighbourhood Design Strategy focusses on creating unique, livable and vibrant communities and providing superior quality of life. Relevant policies and aligned ASP out comes are presented below.

Policy	ASP Outcomes
<p><i>"Creating a sense of place is about using urban design to create spaces that people are drawn to and want to take ownership of." (p.7)</i></p>	<p>The design of neighbourhood parks and high quality amenities results in a functional space which encourages use and has unique character. Anchor points such as school sites located at community entrances help create a sense of place and are points of pride for residents.</p>
<p><i>"All the great aspects of a community cannot be appreciated or enjoyed from a car - it requires getting out and enjoying the community as a pedestrian." (p.8)</i></p>	<p>The nature of the proposed design of the community lowers the priority of the car but still provides high-quality, if lower speed, automobile movements through an attractive and interesting public realm. The traffic calming effect creates a safe environment for pedestrians including for the elderly and children.</p>
<p>The Strategy- Maintaining and creating a sense of place (p.15) 1.1 Walkability 1.4 Attention to aesthetics and urban design 1.7 Integrated park systems 1.10 Integrated and safe transportation network</p>	<p>The walkable nature of the community is achieved through linked open spaces and helps to promote an integrated community and city-wide park system. A safe and integrated road system is achieved through short runs and staggered intersections and by minimizing straight-through road alignments. Public spaces shall be attractively landscaped.</p>

City of Leduc/Leduc County Intermunicipal Development Plan 2010-2044 (IDP)

Policy	ASP Outcomes
<p>1.3 Guiding Principles (p.3) 2-<i>Creating Vibrant Communities</i></p>	<p>The focal points created by the park nodes and storm water management facility (SWMF) create a sense of place and encourage people to interact with these spaces, contributing to the vibrancy of the area and fostering a welcoming, interactive community.</p>
<p>1.3.1 Smart Growth</p>	<p>The community design incorporates strong open space connectivity between the SWMF, school sites, residential</p>



<p>-Foster distinctive, attractive communities with strong sense of place -Create walkable communities with meaningful open space</p>	<p>areas and the open spaces. This creates a sense of place distinctive to the community and promotes walkability between these spaces and uses.</p>
<p>1.3.2 Creating Vibrant Communities -Safe and healthy neighbourhoods -Compatible integration of home, community, work, commerce and recreation</p>	<p>The walkable and integrated elements of the community encourage a safe, healthy and integrated community. A Dinosaur themed park has been constructed and is an excellent place for the community to come together. It integrates recreation, history, education and healthy social interaction – the vibrancy created will be significantly increased as compared to most residential communities.</p>
<p>4.2 Residential "The goal is to create communities with the full range of housing affordability, housing types, services, amenities, employment opportunities, parks, open spaces, trails and community facilities."</p>	<p>This ASP supports a range of housing types and incorporates integrated parks, multiway trails and facilities.</p>
<p>Residential Density 4.2.2.3-"All residential development and subdivision with new Area Structure Plans in the IDP area shall achieve a target density of 25-30 units per net residential hectare (upnrha)"</p>	<p>The ASP sets to achieve a neighbourhood residential density of at least 25 units per net hectare for LDR and an overall density of over 27 units per net hectare. This density is a significant increase from the previous approved Area Structure Plan (See Table 1 in Appendix B for development statistics).</p>
<p>Residential Community/Neighbourhood Design 4.2.2.6 New residential communities within the IDP area should incorporate design that: -Reduces vehicle dependency -Includes a variety of housing choices -Exceeds minimum residential densities -Supports pedestrian and public transit connections, and, -Provides access to open space and recreational areas/facilities</p>	<p>The community design promotes strong pedestrian connections between open spaces, which encourages walkability and cycling. The residential densities exceed the densities of the previous ASP. There is a variety of housing types within the neighbourhood which encourages diversity and meets "Market Affordability" criteria as outlined by the Capital Region Board at the time of ASP review.</p>

City of Leduc 2018 Transportation Master Plan (TMP) (2018)

Relevant Policy Statements from the TMP are summarized below, along with anticipated ASP actions and outcomes supporting the TMP Policy Statements. The Policy Statements have been edited for brevity. For more detail, please consult the *City of Leduc 2018 Transportation Master Plan*.

Policy Statements	ASP Outcomes
<p>4.1 Environment 2A-Environmental sustainability shall be encouraged through increased transit use and active transportation, and meaningful community engagement to promote goals. 2B-Improve air quality and reduce emissions through promotion of active transportation,</p>	<p>This ASP provides a road network easily serviced by transit and an integrated multi-way and pedestrian network. Residential density is higher than the adjacent existing communities (excepting Southfork to the west), while still retaining single family as the dominant housing style.</p>



<p><i>enhanced pedestrian infrastructure, expanded transit services, and support of compact urban development and mixed land uses.</i></p> <p><i>2C-Energy efficiency shall be improved through expanded transit service, alternative technologies and energy conservation (in planning, design and construction), responsive traffic signal technology, and energy efficient street lighting.</i></p>	<p>The plan integrates a large school site in a central location to serve the community efficiently.</p> <p>Energy efficient construction processes and materials will be used wherever feasible.</p>
<p>4.2 Economy and Tourism</p> <p><i>3A-The City shall foster regional economic development and tourism through development of: convenient roadway corridors, municipal multi-modal network, and safe, efficient access to municipal transportation infrastructure.</i></p> <p><i>3B-The City shall foster economic development initiatives through assuring new developments have access to municipal roadways and adequate off-street parking and loading/unloading facilities.</i></p>	<p>Transportation infrastructure proposed in support of this plan includes multiway trails, the addition of an arterial road along the south boundary opening a new access point and railroad crossing into Southeast Leduc.</p> <p>Roads are provided to support the anticipated traffic demand and efficiently utilize the invested capital.</p> <p>All areas are serviced by municipal roads and shall provide parking in accordance with the City's design standards and Land Use Bylaw.</p>
<p>4.3 Building Our City</p> <p><i>4A-The City shall foster growth management by ensuring that enhanced infrastructure and services are applied to existing urban areas that favour increased urban densities or compact urban form, contiguous transportation infrastructure, travel demand forecasting, complete street corridors, and sustainable new transportation infrastructure</i></p> <p><i>4B-The City general land use policies shall encourage planning which facilitates more compact and dense urban areas with enhanced active transportation infrastructure, assure multiway trail system is integrated with new initiatives, assure infrastructure investment initiatives are fully supported by appropriate studies.</i></p> <p><i>4E-Policies in new neighbourhoods shall integrate all transportation modes, provide multi-modal transportation networks, encourage connecting pathways between developments, protect rights-of-way where necessary, ensure all new development complete TIA to identify road and parking needs, during detailed design process implement noise mitigation measures.</i></p>	<p>Southeast Leduc represents an increase of density compared to the older areas of Leduc. This means that roads and utility infrastructure are more efficiently utilized, and more sustainable in terms of managing replacement costs.</p> <p>All areas to be developed within the plan are contiguous and build on existing developments. No leap-frog development is proposed or supported by this plan.</p> <p>A TIA and preliminary engineering design have been completed to present data for the proposed roadway and utility infrastructure and base investment decisions off of rational, defensible studies. Please refer to these documents, submitted under separate cover, for additional information.</p> <p>This ASP supports the planning goals of the TMP through multi-use trails, high quality roadways, and connections to surrounding communities.</p>
<p>4.4 Social Wellness & Safety</p> <p><i>5C-The City shall encourage healthy, inclusive, and safe communities through accessible transit, following the recommendation of the TMP, encourage regulations which integrate pathways and corridors that link communities, encourage</i></p>	<p>Transit services are anticipated to utilize collector roadways and be accessible to all residents. Trails and connections to other neighbourhoods (existing and future) are provided for and protected.</p> <p>The multiway trails provide safe active transportation alternatives within the ASP. Specifically, trails located along</p>

<p><i>development that would further enhance safety of cyclists, pedestrians and drivers.</i></p>	<p>the Keyera pipeline right-of-way are removed from roads and road intersections, connected to the school site, providing additional safety for vulnerable users.</p>
<p>4.5 Recreation & Culture <i>6A-Along with healthy community policies, the City shall incorporate active transportation modes, provide multiway and other active transportation facilities, protect for and promote expansion of multiway network and other rights-of-way.</i></p>	<p>Active transportation facilities and links to adjacent neighbourhoods are provided which support and promote active transportation. Active modes of transportation are prioritized and treated as essential and attractive components of the community transportation strategy.</p>

Leduc Land Use Bylaw (LUB)

All development within this ASP shall conform to Leduc’s LUB at the time of subdivision.

3.0 Development Concept

3.1 Overview and Objectives

This Plan has been created to ensure a logical development pattern is applied to the remaining lands in the ASP area. Only residential and public land uses are proposed as shown on **Map 4 – Development Concept**. The concept aligns with the existing pattern of development in the Plan area and adjacent lands. **Tables 1, 2 and 3 in Appendix B** show the land use breakdown resulting from this concept.

The key objectives of the ASP are as follows:

- Provide a safe, high quality residential community with a range of housing types to meet the needs of potential residents while respecting current residents' expectations of their communities.
- Provide a family friendly environment where children can grow and play safely while enjoying the prosperity of Leduc and the greater Capital region.
- Ensure transportation, water, sanitary sewer, storm water management and utilities servicing meet the needs of the community and are reliable and efficient.
- Protect natural features where possible for the enjoyment of future and current residents.
- Provide recreational opportunities and support a range of active transportation options available to residents of all ages and abilities.
- Provide housing within a close proximity to employment and services, and;
- Support the City of Leduc's growth and development policies to maintain Leduc as a desirable and attractive place to live.

3.2 Public Space, Municipal Reserve, and Connectivity

Public space in the form of Public Utility Lots (PULs) have been designated for use as a storm water management facility (SWMF) and as rights-of-way for utility services.

Municipal Reserve (MR) is dedicated per the requirements of the MGA. This means that up to 10 percent of developable land will be dedicated to the City of Leduc as MR. The land use breakdown proposed by the development concept is shown on Tables 1-3 and in Appendix B. MR dedications from previous stages of development, including some areas outside of the ASP boundary, have been carried over into this ASP. For MR dedications to meet the 10% requirements of the MGA, 13.53 hectares of MR shall be dedicated within the ASP limits.

During the construction of Meadowview stage 13A, the fossilized remains of hadrosaurs were uncovered. A dinosaur themed playground has been built in the northeast portion of the Plan area to celebrate local archeology and create a unique public place for local families and visitors to enjoy. The dinosaur playground was built collaboratively, with financial contributions from Qualico Communities and the City of Leduc.

Park spaces, sidewalks and trails are proposed that allow for a variety of alternative pedestrian movements. The high pressure pipeline corridor is proposed to contain a multiway trail. **Map 5** shows municipal reserve locations, the proposed multiway trail system, and pedestrian connection points to these public facilities. A 4.95 hectare (12.23 acre) school site has been provided to meet the site requirements of the local school boards.

The lands within the Keyera pipeline right-of-way may be considered for municipal reserve credit at the discretion of the City at the subdivision stage. The portion of the Keyera right-of-way within the future school site shall receive MR credit.

3.3 Residential Land Uses

A variety of housing types are proposed in this Plan as shown on **Map 4**. Residential development in the SE Leduc ASP area is predominantly single-family detached dwellings (RSD-Residential Standard District). The density of housing will transition from the constructed single detached dwelling areas in the north portion of the ASP boundary. The transition will continue with the development of RNL-Residential Narrow Lot zones moving south culminating with two medium density housing parcels in the south central area, one north of the large MR parcel/future school site and the other located east of Coady Boulevard. This allows for a significant range of household income levels to consider locating in the area with access to future transit services and recreation opportunities in an integrated fashion with traditional single detached dwellings.

3.4 Transportation Network

The concept of hierarchical roadways described in the initial 1993 ASP (arterial, collector and local roads) has been retained. The proposed alignment of roads is shown on **Map 6**. Construction of sidewalks and other related infrastructure will be provided as per City standards.

Coady Boulevard is the north-south arterial link through the Plan area. It will ultimately be extended south to the future arterial which will bound the site along the southern limits. 26.0 metre wide right-of-way will be dedicated for the future arterial along the south boundary of the Plan area. Landowners to the south of the Plan area will be required to dedicate the remaining portion of road right-of-way.

The major collector roadway known as Caledonia Drive will continue from its current extent in the western portion of the Plan area and will sweep eastward to connect with Coady Boulevard. An initial access and rail crossing location to the south arterial is provided in the southwest corner of the ASP. A major collector link (Meadowview Boulevard) is constructed from Coady Boulevard east to Range Road 250 (CW Gaetz Road). Traffic calming measures are incorporated into the design as gentle curves which will slow the speed of traffic and reduce opportunities for speeding. A major collector link is also provided east of Coady Boulevard, north of the multifamily site to permit access to the multifamily site and to link the multiway trails of Coady Boulevard with the north/south multiway located to the east.

All other roadways will be designated as local roadways and lanes. Aside from road alignment design, no traffic calming measures are required or proposed for local roadways or lanes. The proposed curvilinear road network and limited straight-through links will discourage speeding and create a pleasant pedestrian experience. A significant number of residential blocks are proposed to be serviced with a 6.0m lane as outlined in City standards. This expands the diversity of housing products that can be pursued within the Plan area. See **Map 6** for more detail.

Due to the proximity to arterial roads and railways, noise studies may be required at the subdivision stage prior to engineering drawing approvals at the discretion of the City of Leduc administration. The intent of these studies is primarily to determine noise mitigation requirements (screening, fencing, separation distances, etc.).

3.5 Plan Amendments, Public Consultation, and Other Considerations

Any proposed amendment to this Plan shall require collaboration with the City of Leduc and public consultations consistent with *Guidelines for ASP and OLP Preparation in the City of Leduc* to be held for surrounding property owners, and the community at large. Notifications are to be provided to the public by either the Planning and Development Department or the applicant as per City policy and in compliance with the *Municipal Government Act*.

All major changes to the plan shall require City Council approval. Any proposed amendment shall be assessed by the City of Leduc, subject to the City's discretion, to determine if an amendment is major or minor in nature. Major amendments may require referral to relevant City departments, and other government agencies prior to approval by Council.

The development pattern proposed in the ASP adheres to the City of Leduc's Land Use Bylaw and engineering standards. These standards provide the infrastructure requirements that allow for the community to flourish year round. Specifically, in addition to housing and servicing, the LUB guidelines provide appropriate room for snow removal and snow management, and fire and emergency response access during and after the various stages of the Plan are constructed.

4.0 Services

Utility services will be designed to meet or exceed City of Leduc engineering standards wherever possible. Precise staging of service installation will be determined by detailed engineering studies and available infrastructure capacity. The following summaries reflect the intended outcomes of this Plan and are subject to minor revisions during the detailed design process to ensure the highest possible levels of service and marketability are ultimately achieved.

4.1 Previous Studies

The results of the following engineering studies have been incorporated into this ASP and have been previously submitted under separate cover to the City of Leduc:

- Tribute/Meadowview Subdivisions Neighbourhood Design Report (2003) Stantec Consulting Ltd.
- Southeast Leduc Area Structure Plan Amendment Supporting Information (2012) AI-Terra Engineering Ltd.
- Risk Assessment - Tribute and Meadowview Park Neighbourhoods Southeast Leduc Area Structure Plan (2018) Thomson Environmental Consulting
- Southeast Leduc Area Structure Plan Amendment Stormwater Management Assessment (2018) AI-Terra Engineering Ltd.
- Southeast Leduc Area Structure Plan Water Network Assessment (2019) AI-Terra Engineering Ltd.
- Southeast Leduc Traffic Assessment (2019) Bunt & Associates

4.2 Water Distribution

Water servicing will be provided via two water mains on the north boundary of the site. One 300mm water main follows the alignment of Caledonia Drive while the second is 350mm in diameter and follows Coady Boulevard through the Plan area. Water main looping will be provided by the connection of these two water mains between Caledonia Drive and Coady Boulevard. The east portion of the site is serviced by a 350mm water main from Coady Boulevard within Meadowview Boulevard. Future water main looping is provided via Coady Boulevard north of the southeast multi-family site. Water main loops of 200mm or less will be installed along the local roads from the mains to service all residences. Water main looping will ensure that water for fire flows and domestic needs are met for the entire ASP during all projected peak hour and fire flow requirements. A 350mm water loop connection to the west may be required and, if necessary, will be provided from Southfork, west of the CP Railway.

Six water main tie-in points are proposed to service future development to the west, south and east of the Plan area. A single 250mm main currently extends to C.W. Gaetz Road near the north-east corner of the ASP area. One 350mm water main is proposed to extend to the west (Southfork). A 350mm main extends south along Coady Boulevard, as well as another extending south from Caledonia Drive, to the south boundary of the ASP to serve future development to the south. A 350mm main will tie into the existing 350mm water main which across C.W. Gaetz Road at the intersection with Robinson Drive to service the Robinson ASP lands. One 350mm water main connection point is also provided to the Robinson ASP located opposite the south collector in the Robinson ASP. (See **Map 7** for more information).

4.3 Sanitary Sewer

The major sanitary sewer alignments follow the collector road network. The direction of flows is indicated on **Map 8**. Three connection points are indicated; they are located in the vicinity of McKay Close and Meadowview Drive, Meadowview Drive and Moberg Road, and at Caledonia Drive south of the intersection with Campbell Road. The sanitary waste generated from the Plan area flows along multiple routes through the existing development and ultimately connects to a sanitary trunk in Rollyview Road.

The ultimate sizing of the proposed sanitary system will be determined at the time of detailed engineering design. The system will be sized to accommodate future development to the south and east and will meet or exceed municipal requirements.

4.4 Storm Water Management

The storm water management system includes one large SWMF within the ASP limits that will service the ASP lands. The size of the public utility lot housing the storm pond is 9.79ha. The pond has been partially constructed and will have an ultimate permanent water body size of approximately 3.50ha (at normal water level). The storm pond will discharge into the existing storm sewer located along Caledonia Drive.

The SWMF located within the Southeast Leduc ASP has been sized and designed to service the entirety of the ASP lands, as well as a portion of the South Boundary Road right-of-way drainage.

See **Map 9** for overland flow direction information, storm water pond location, and pond discharge point.

4.5 Franchise Utilities

Franchise utilities including power, telecommunications, and natural gas services are readily available to be extended into the future development areas of the ASP. Utilities will be extended as required and installed in coordination with the franchise utility providers.

5.0 Implementation

5.1 Development Staging

Staging of the development is constrained by available services and service capacity. As shown on **Map 10**, Stage 1 has been previously constructed in the neighbourhood of Tribute in the north west of the Plan area. A portion of the eastern neighbourhood of Meadowview has been completed in the northeast. Generally, the pattern of development will occur from northwest portion of the site, in the neighbourhood known as Tribute to connect to the south arterial right-of-way. Then development will move towards the east portion of the Meadowview neighbourhood (Stage 4). Ultimately developing lands in the south-central portion of the plan area, connecting development in Meadowview.

Staging of each phase will be designed to the satisfaction of City administration and will be constructed ensuring adequate utility servicing and transportation access is provided during construction.

Appendix A

Maps



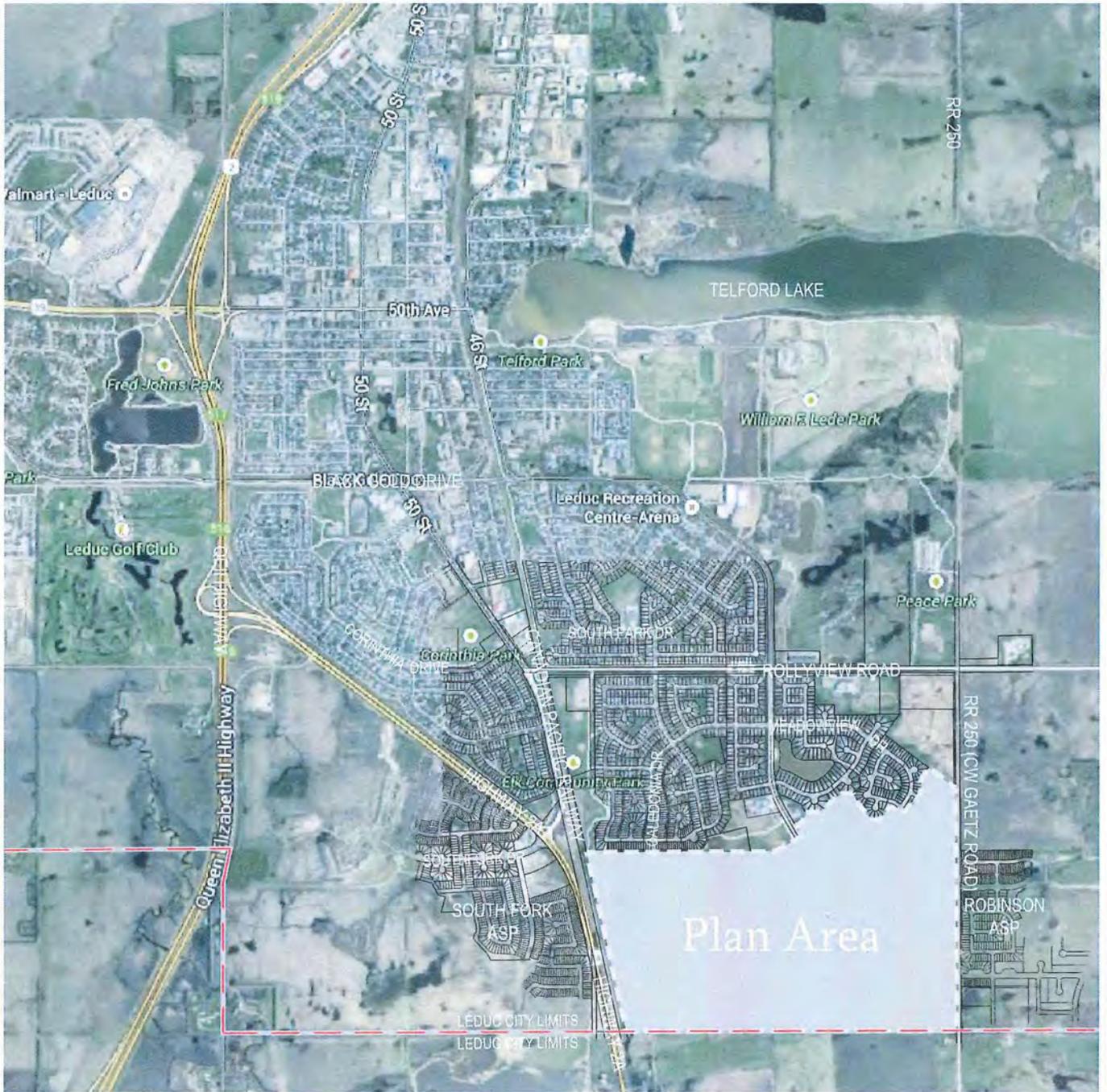


Image Source: Google Earth

Scale 1:25,000



Legend

Project

Southeast Leduc Area Structure Plan

Title

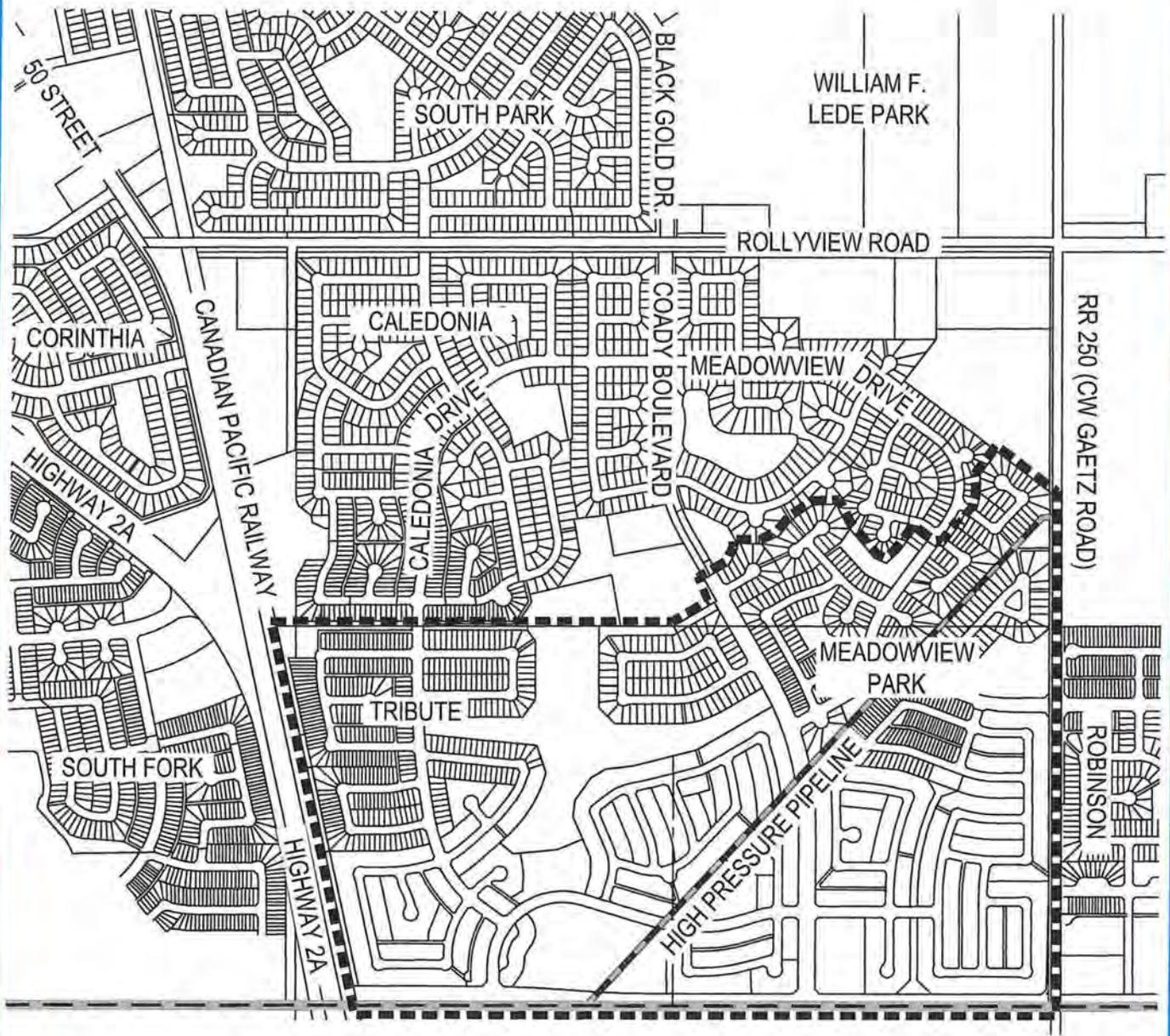
Location Plan

Map

1



April 25, 2019



Legend

- ■ ■ ■ ■ ASP Area
- — — — — Leduc City Limits
- — — — — Pipeline R/W

Scale 1:12,500



Project

Southeast Leduc Area Structure Plan

Title

Context

Map

2



April 25, 2019

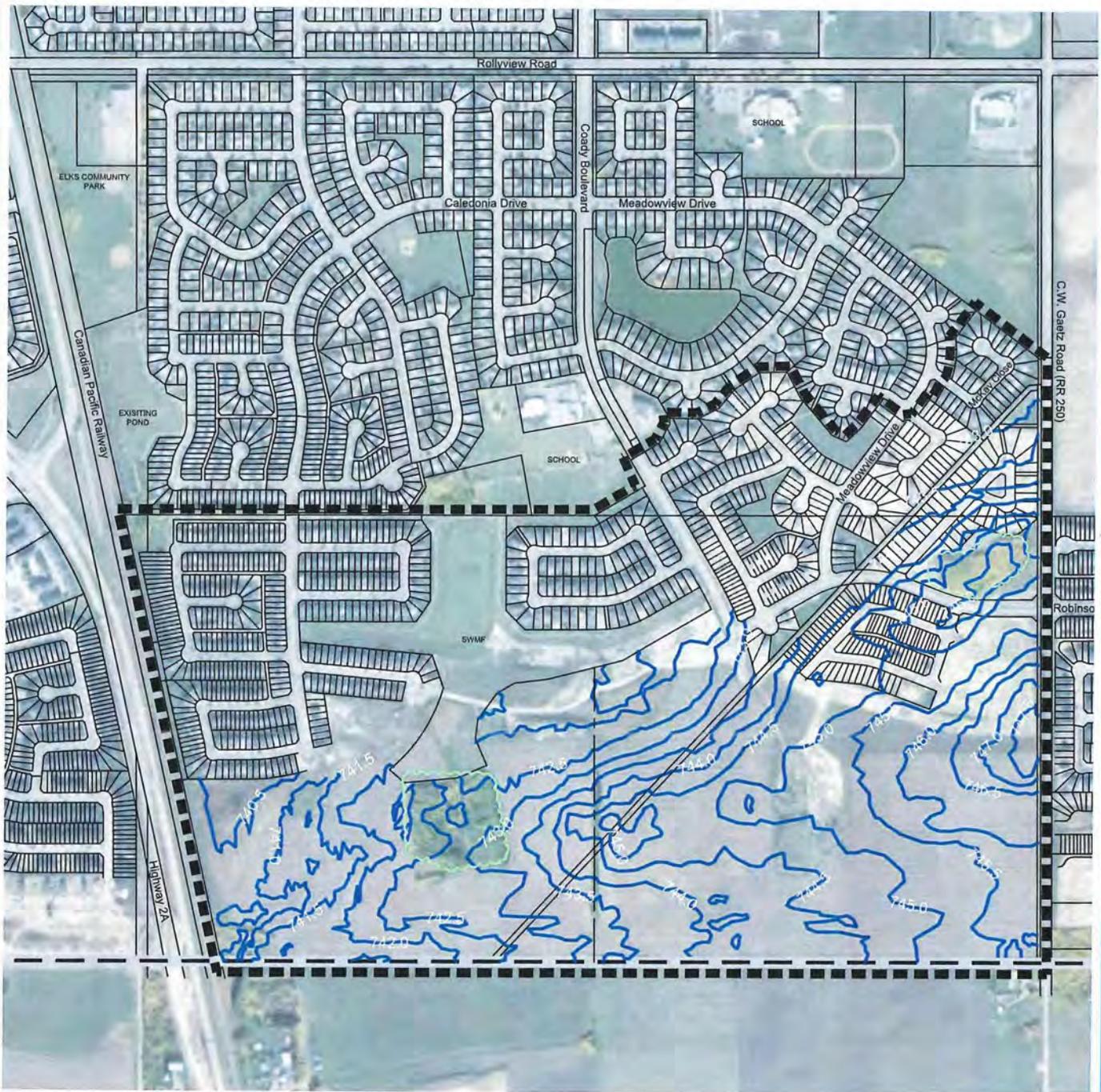


Image Source: Google Earth

Scale 1:10,000



Legend

-  ASP Area
-  Leduc City Limits
-  Tree Stand
-  Topographic Contours - 0.5m Intervals

Project

Southeast Leduc Area Structure Plan

Title

Topography and Natural Features

Map

3

QUALICO
Communities



April 25, 2019



Scale 1:10,000 

Legend

- | | | | |
|---|-------------------|---|------------------------------|
|  | ASP Area |  | Low Density Residential |
|  | Leduc City Limits |  | Medium Density Residential |
|  | Pipeline R/W |  | Municipal Reserve/Open Space |
| | |  | Public Utility / SWMF |

Project
**Southeast Leduc
 Area Structure Plan**

Title
Development Concept





Scale 1:10,000  Project

- Legend**
-  ASP Area
 -  Leduc City Limits
 -  Multiway
 -  Pedestrian Linkages
 -  Municipal Reserve
 -  PUL and Stormwater Facility
 - *Location of Future Pedestrian Links Subject to Change During Detailed Design

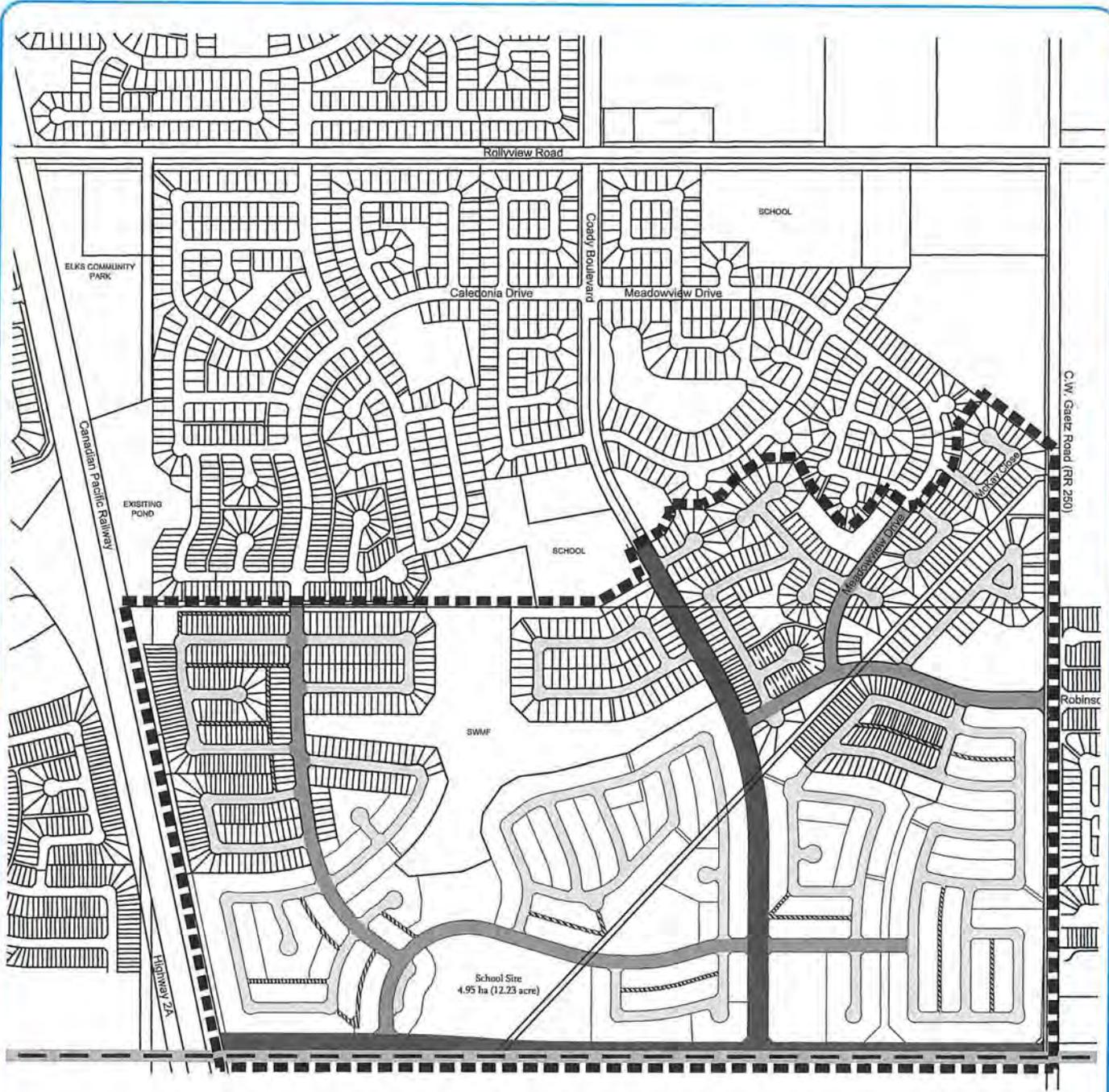
Southeast Leduc Area Structure Plan

Municipal Reserve and Multiway Network



Title
Map
5

April 25, 2019



Scale 1:10,000 

Legend

-  ASP Area
-  Leduc City Limits
-  Arterial
-  Major Collector
-  Local Road
-  Lane (6.0m)

Project
**Southeast Leduc
 Area Structure Plan**

Title
Transportation Network





Scale 1:10,000 

Legend

-  ASP Area
-  Ex. 350mm WM
-  Proposed 350mm Watermain
-  Leduc City Limits
-  Ex. 300mm WM
-  Proposed 300mm Watermain
-  Pipeline R/W
-  Ex. 250mm WM
-  Proposed 250mm Watermain

*Watermain sizing shown is conceptual and is subject to change during detailed design work. Adjustments to water main sizing shall be approved by Leduc and shall not require an ASP amendment.

Southeast Leduc Area Structure Plan

Water Distribution Network





Scale 1:10,000 

Project

Southeast Leduc Area Structure Plan

Title

Sanitary Sewer

Map

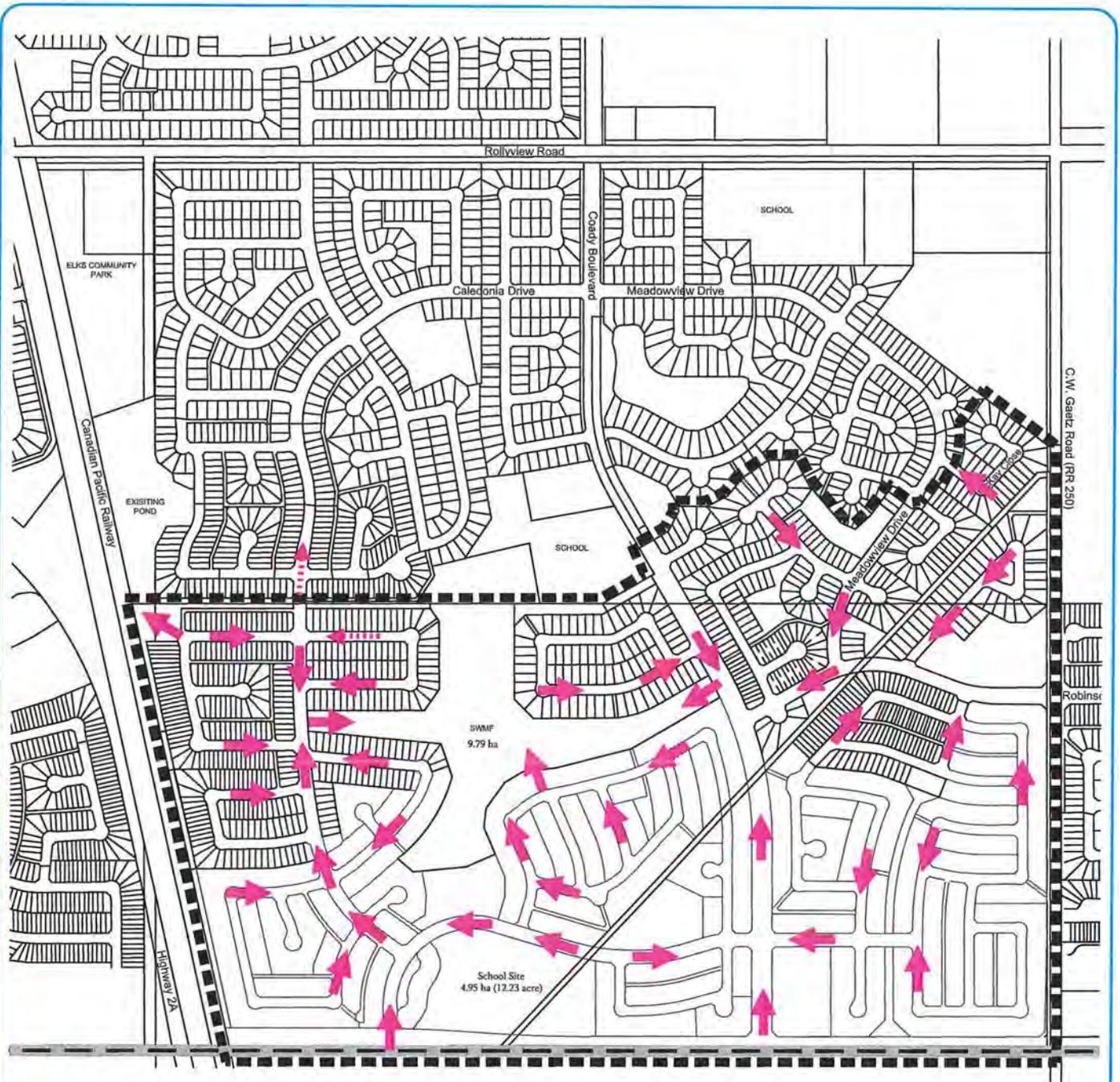
8

April 25, 2019

Legend

-  ASP Area
-  Leduc City Limits
-  Sanitary Connection Point
-  Direction of Flow





Scale 1:10,000 

- Legend
-  ASP Area
 -  Leduc City Limits
 -  Direction of Flow
 -  Storm Pond Discharge

Project
**Southeast Leduc
 Area Structure Plan**

Title
Stormwater Management





Scale 1:10,000 

Legend

-  ASP Area
-  Leduc City Limits
-  Preliminary Staging Boundary
*Stage boundaries subject to available service capacities and detailed engineering design
- 3** Stage Number



Project
**South East Leduc
 Area Structure Plan**

Title
Development Staging
 Map

10



April 25, 2019

Appendix B

Development Statistics

Table 1: SOUTHEAST LEDUC AREA STRUCTURE PLAN LAND USE STATISTICS		
	Area (ha)	% of GDA
GROSS AREA (TITLE AREA)	141.12	
Undevelopable Lands	0.00	0.00%
GROSS DEVELOPABLE AREA	141.12	100.00%
Total MR Dedication Required*	13.53	
MR-School Site (Includes Keyera ROW)	4.95	3.51%
MR-Parks, Open Space, and Connections (Excludes Keyera ROW)**	8.60	6.09%
Roads	36.77	26.06%
Public Utility and SWMF	11.43	8.10%
TOTAL NON-RESIDENTIAL AREA	61.75	43.76%
NET RESIDENTIAL AREA (NRA)	79.37	56.24%

Table 2: RESIDENTIAL AREAS, UNIT COUNT & POPULATION						
Land Use	Area (nrha)	Units/ha	Units	People/Unit	Pop	% NDA
Low Density Residential (LDR)						
Single/Semi-Detached/Row Housing	76.23	25	1,906	2.8	5,336	96.05%
Medium Density Residential (MDR)						
Low-Rise Medium Density Housing	3.14	80	251	1.8	452	3.95%
Total Residential	79.37		2,157		5,788	100.00%
Sustainability Measures						
Population Per Net Residential Hectare (ppnrha)				72.9		
Units Per Net Residential Hectare (upnrha)				27.2		

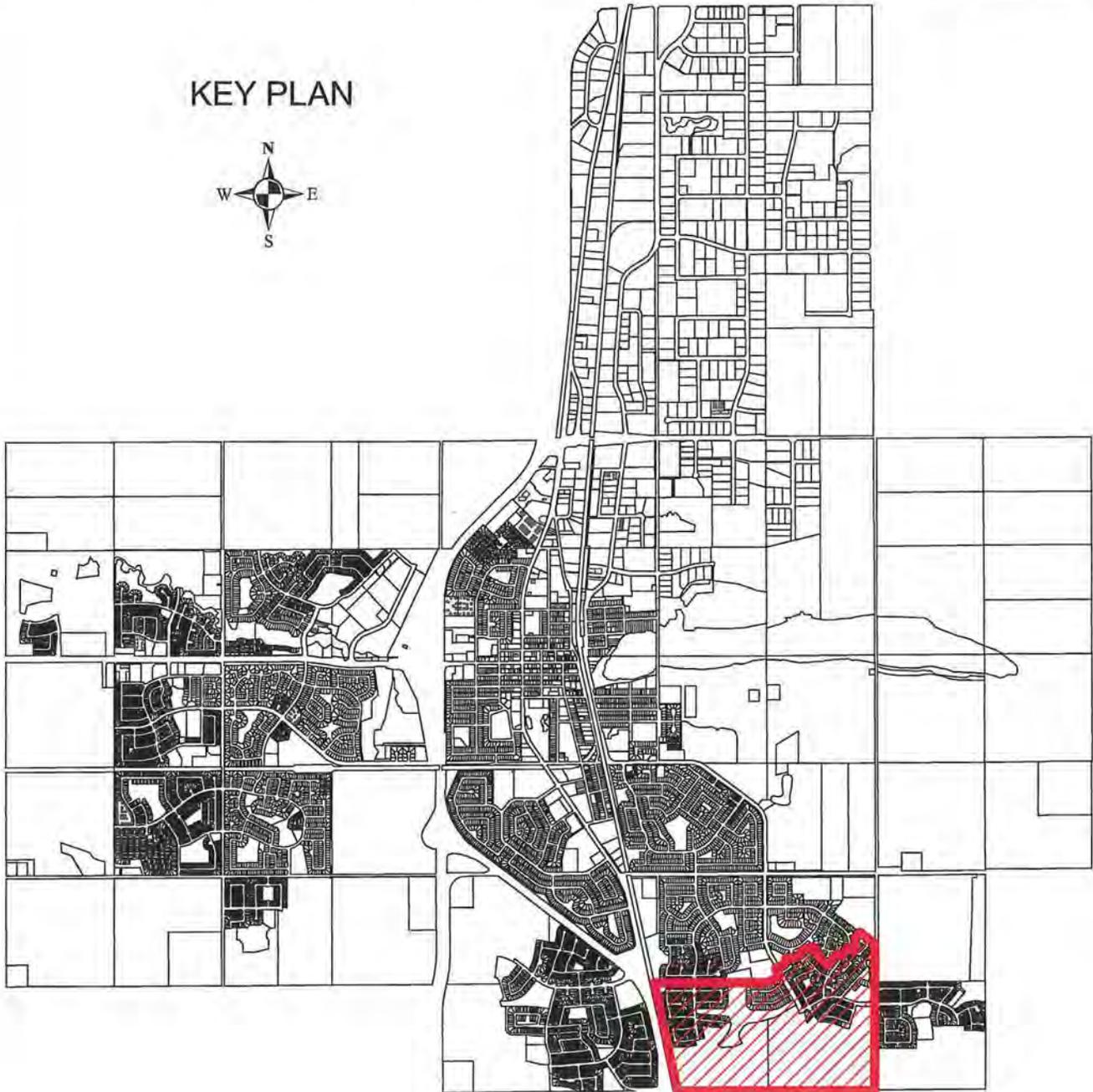
Table 3: STUDENT GENERATION	
Public School Board	
Elementary	279
Junior High	129
Senior High	129
Public School Board SUBTOTAL	537
Separate School Board	
Elementary	52
Junior High	26
Senior High	26
Separate School Board SUBTOTAL	104
TOTAL SCHOOL POPULATION	641

Note: Areas shown herein are subject to confirmation by field survey at the time of subdivision. Minor changes (as determined by the City of Leduc) and discrepancies to the above land use statistics are expected during detailed design and survey work and shall not require plan amendments.

*Municipal Reserve owing equals 10% of developable area, less over-dedications provided for previous development outside of the ASP boundary. As calculated by the City of Leduc.

**Municipal Reserve dedications are subject to confirmation and revision at the time of subdivision. Dedications shall be consistent with the Municipal Government Act requirements and subject to City approval.

KEY PLAN





Legend

-  ASP Area
-  Leduc City Limits
-  Pipeline R/W
-  Single Family Residential
-  Multi Family Residential
-  Municipal Reserve
-  Public Utility / SWMF

Scale 1:10,000



Project

South East Leduc
Area Structure Plan

Title

Development Concept

Map

4



August 6, 2014



Scale 1:10,000 

Legend

- | | | | |
|---|-------------------|---|------------------------------|
|  | ASP Area |  | Low Density Residential |
|  | Leduc City Limits |  | Medium Density Residential |
|  | Pipeline R/W |  | Municipal Reserve/Open Space |
| | |  | Public Utility / SWMF |

Project
**Southeast Leduc
 Area Structure Plan**

Title
Development Concept



3 August 2018
RA18-08

DRAFT

Qualico Developments West Ltd.
#208, 3203 – 93 Street NW
Edmonton, Alberta T6N 0B2

Telephone: 780.733.7365
e-mail: sgerein@qualico.com

Attention: Shane Gerein

Reference: **Risk Assessment (Risk and Consequence Analysis)
Tribute and Meadowview Park Neighbourhoods
South East Leduc Area Structure Plan
Leduc, Alberta**

Further to your recent request, Thomson Environmental Consulting (Thomson) is providing this Risk Assessment regarding a pipeline corridor that transects the Meadowview Park and Tribute Neighbourhoods.

1.0 PROJECT UNDERSTANDING

Although not a specific requirement of the City of Leduc Planning Authority for this site, a Keyera Energy Ltd. Highly Volatile Product (HVP) pipeline corridor traverses the property for which a risk assessment has been required on a nearby property. The existing pipeline(s) within this corridor could potentially be a source of risk for residential or institutional occupants of the area and it is desired that a risk assessment be carried out to quantify these risks.

2.0 SCOPE OF WORK

The following Scope of Work was completed in accordance with the Thomson Environmental Consulting proposal in general requirements of the City of Leduc Planning Authority:

1. Review Alberta Energy Regulator (AER) records to verify the size and product carried in the pipeline; and other relevant information including spill records.
2. Complete a site and area inspection to verify the nature of the pipeline corridor and the presence of any features that would influence or mitigate risk.
3. Review AER pipeline performance records to ascertain the frequencies and likelihood of product leakage.
4. Complete a risk assessment given the pipeline characteristics including calculation of the risk of fire and probability of fatality risk setbacks.

5. Prepare a written report that documents the potential risks associated with the pipeline corridor, risk of fatality and setback distances as well as mitigation measures that may be considered.

The above information was been compiled below along with the potential risks associated with the pipeline corridor, risk of fatality and setback distances.

3.0 RISK CRITERIA

The current development management approach for the City of Leduc and many other municipalities in Canada requires that a Risk Assessment be completed in the event of any rezoning or development in the vicinity of potentially hazardous land uses to avoid incompatible development. The City uses the Major Industrial Accidents Council of Canada (MIACC) acceptability criteria. The MIACC annual individual risk of fatality versus allowable land use is shown below in Table 1.

Table 1: MIACC Risk of Fatality and Acceptable Land Use

Risk of Fatality	Acceptable Land Use
1 x 10 ⁻⁴ (one in ten thousand)	Industrial, warehousing, open space, golf courses
1 x 10 ⁻⁵ (one in one hundred thousand)	Commercial, low density residential, acreages
1 x 10 ⁻⁶ (one in one million)	High density residential, office towers
0.3 x 10 ⁻⁶ (3 in ten million)	Sensitive institutions (hospitals, schools, day cares, etc.)

Future land use will be primarily residential, but will include a school site and possibly other sensitive land uses such as day cares, etc. Therefore, for the purposes of this assessment, the mid-level (1 x 10⁻⁶) and most sensitive land use categories (0.3 x 10⁻⁶) will be considered.

4.0 SITE RECONNAISSANCE AND PIPELINE CORRIDOR INFORMATION

An inspection of the subject lands was completed by Jim Thomson on July 16, 2018. Currently residential development lands are part of the north portion of the Tribute and Meadowview Neighbourhoods in the north half of Sec. 24-49-24-W4. A pipeline corridor traversed SE 24-49-25-W4 and a portion of SW 24-49-25-W4. At the time of inspection, residential lots and associated infrastructure was in place or under construction on either side of the pipeline corridor.

Signs were observed at street crossings in the neighbourhoods indicating the pipeline owner and contents, the details of which are shown below in Table 2.

Table 2: Details of Pipeline in Corridor

Licensee	Licence No.	Contents	Pressure (kPa)	Nom. Pipe Size (in)	Location
Keyera Rimbey Ltd.	3015-3	HVP-Propane	7,240 kPa	8.63	Traversing SE & SW 24-49-25-W4

Alberta Energy Regulator (AER) records indicate this pipeline starts at the Keyera Rimbey gas plant northeast of Rimbey and terminates in the Refinery Row area of Strathcona County.

5.0 HAZARD SOURCE – PROXIMITY TO KEYERA HVP PIPELINE

Representative hazards from propane carried in the pipeline could include explosions or fires (thermal effects). For thermal impacts, the U.S. Environmental Protection Agency (EPA) uses 5.0 kW/m² as the threshold limit (ERPG-2) value as noted below in Table 3. Flash fires and pool fires are common sources of thermal impact in a propane release. Typical effects of various levels of thermal radiation intensity are shown in Table 3 below¹:

Table 3: Effects of Various Levels of Thermal Radiation

Radiation Intensity (kW/m ²)	Observed Effect
37.5	Sufficient to damage buildings & equipment. 50% fatality after 20 seconds (sec.).
25.0	Minimum energy required to ignite wood. 50% fatality after 60 sec.
12.5	Plastic tubing will melt. 10% fatality after 60 sec.
9.5	Pain threshold reached after 8 sec; 2 nd degree burns after 20 sec; 1% fatality after 60 sec.
6.3	Sufficient to cause pain within 20 sec.; skin blistering and 2 nd degree burns is likely; 0% fatality.
5.0	U.S. EPA Risk Management Plan criterion for 40 sec. exposure (ERPG-2).
4.0	Skin redness but no lasting effects.
1.9	Will cause no discomfort even for long exposure.

The hazards of a pipeline breach include the potential for:

- vapour cloud flash fires if the propane isn't ignited right away; and
- liquid pool fire at source of leak (if ignition occurs).

¹ Bercha, F.G. *Risk Analysis Methods and Applications*. Universal Publishers Inc., Calgary, Alberta. 2014.

6.0 SPILL RECORDS

The spill records listed below are on file with AER for this pipeline.

Table 4: Spill Records

Pipeline Segment	Date	Location	Substance Spilled	Remarks
3015	Sept. 9, 2009	South of Pigeon Lake, 57 km southwest of site	N/A (equipment failure)	Complaint
3015-1	August 24, 2001	South of Pigeon Lake, 58 km southwest of site	26 m ³ condensate	No product recovery
3015-3	June 8, 1999	34 Ave-25 St., Edmonton, 26 km NE of site	Recovered	Pipeline hit by 3 rd party
3015-5	May 25, 1990	Pigeon Lake 50 km southwest of site.	5 m ³ fresh water	Seam rupture
3015-1	March 2, 1979	50 St. – Anthony Henday Drive, Edmonton; 23 km NE of site	1035 m ² chemicals 500 m ² gas production	No product recovery

There have no leaks or spills associated with this pipeline within 22 km of the subject property.

AER records also indicate an oil well was drilled and abandoned in 1952 at 04-19-049-24-W4M (southeast of the development lands) and never produced. It is not considered a concern.

7.0 FREQUENCY ANALYSES – PIPELINES

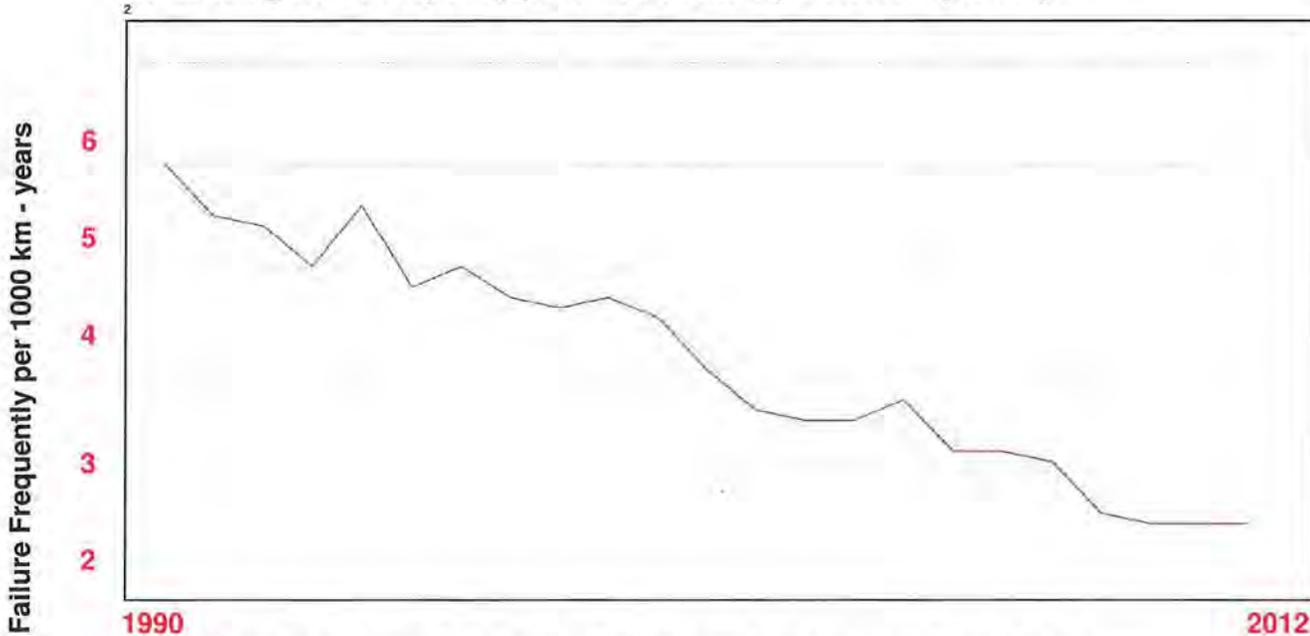
The probability of fatality or any other consequence from minor injury to severe harm at a given point from an accident can be estimated using various exposure scenarios. The area of influence is defined as the area in which the defined consequences are expected to occur. The area of influence depends upon a number of factors such as those listed below.

1. Rate and volume of material released.
2. Chemical specific properties and the method of dispersion.
3. Environmental conditions (temperature, wind speed, wind direction, and air stability) and site-specific factors.
4. Population density and portion of people indoors versus outdoors.

5. Ease of egress, i.e. multi-story buildings are harder to evacuate.
6. Time of day or week, i.e. for residential neighbourhoods in the development area, any spill or event occurring after routine business hours would have more of a human impact than if it occurred during business hours.

Pipeline Releases

Alberta Energy Regulator (AER) pipeline failure data² indicates that the "All Cause Failure Frequency for 2012 is 1.5 per 1000 km per annum or 1.5×10^{-3} per kilometre-year as shown on the excerpted figure below. This frequency has decreased almost continually since 1990. This includes all pipe sizes, but the majority of pipeline failures (90.9%) occur in smaller pipe sizes (6 inches and under). Therefore, a more representative failure rate (taken from the same source and knowing there is only one pipeline in the corridor) is 1.4×10^{-4} per km-yr.



Graph of All Cause Failures from AER Pipeline Performance in Alberta Report

8.0 HIGH VAPOUR PRESSURE (e.g. PROPANE) CONSEQUENCE ANALYSES

There are five potential consequences of HVP release as listed below:

1. Pool fire where released fluids accumulate and burn in close proximity to a pipeline; typically limited in extent.

² AER Report 2014-B: Pipeline Performance in Alberta, 1990-2012. August 2014. Calgary, Alberta

2. Flash fire which is short duration fire (< 5 sec. duration) due to delayed ignition of vapour; low risk of fatality outside corridor. A flash fire threshold is calculated at 60% of lower explosive limit (LEL) as air concentrations are not homogeneous and 100% will likely be exceeded in pockets.
3. Jet fire where high pressure liquid vapourizes on release, ignites immediately and then burns until pressure in pipeline is relieved.
4. Explosion where possible but unlikely in a liquids release as there is no confinement of vapour.
5. Vapour dispersion where unignited vapour disperses without incident.

The pool fire and flammable vapour release scenarios are the most likely scenarios for an HVP fluids pipeline, such as that found on the subject quarter section.

The United States Environmental Protection Agency hazard modelling software, ALOHA was used to estimate thermal effects contours from a jet flame resulting from a catastrophic rupture of the HVP pipeline.

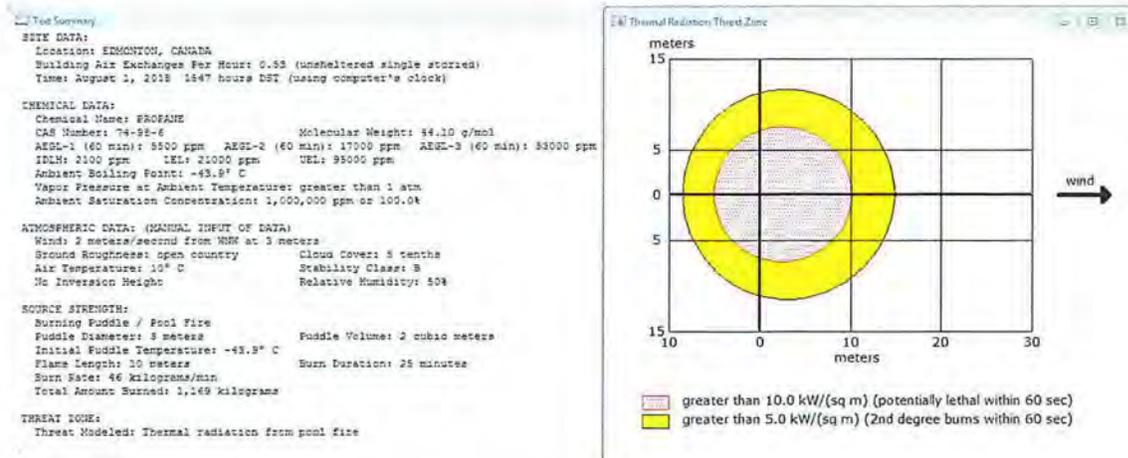
The scenario assumptions include:

1. Probability of 0.7 of propane ignition (could be as low as 0.1).
2. Pool fire is the most probable consequence of ignition.
3. 90.7% of pipeline incidents occurred on pipelines 6" or smaller diameter, so overall frequency rate will be very conservative for subject site. The overall frequency of incident is decreasing.

Modelling is usually carried out to represent neutral or stable conditions as an indication of worst-case meteorology that will provide a conservative estimate of the consequence extent for any given release event. Other modelling assumptions include:

1. Maximum line operating pressure of 7,240 kPa.
2. Uncongested area of release (no dense pipe racks or forest)
3. Wind direction of 2 m/sec. toward the quarter section.
4. Moderate atmospheric stability.
5. 50% humidity.

Pool Fire Modelling Results – Consequence Limit = 15 m

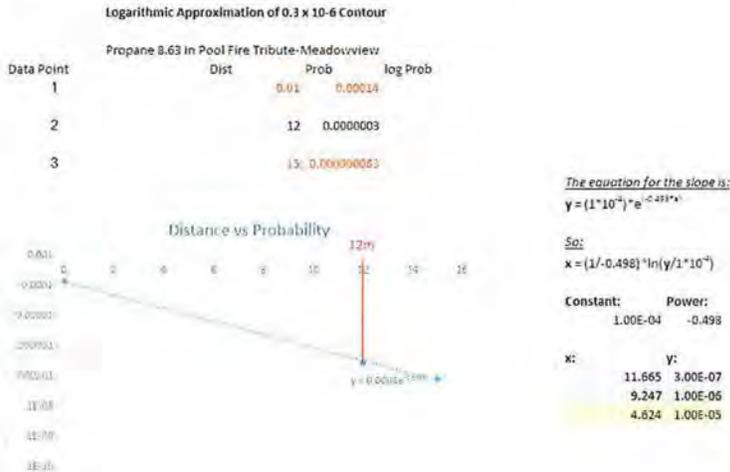


A plausible pool fire scenario indicated a consequence impact to 15 m from the pipeline.

The risk related to a pool fire =

$$\begin{aligned}
 & 1.5 \times 10^{-3} \text{ (probability of release – all pipelines)} \times 0.11 \text{ (probability of release > 6 inch diameter)} \\
 & \times 0.33 \text{ (probability of impact meteorology)} \\
 & \times 0.18 \text{ (probability of ignition – consequence event tree)} \\
 & \times 0.01 \text{ (probability of fatality due to the release (limit of probit function))} \\
 & = 8.3 \times 10^{-8} \text{ at 15 m downwind.}
 \end{aligned}$$

The corresponding separation distances corresponding to 1×10^{-6} and 0.3×10^{-6} fatality risks are estimated to be 9 m and 12 m respectively as indicated following:



Flammable Vapour Fire Modelling Results – Consequence Limit = 19 m

Test Summary

AEGL-1 (60 min): 5500 ppm AEGL-2 (60 min): 17000 ppm AEGL-3 (60 min): 55000 ppm
 ICHH: 2100 ppm LEL: 21000 ppm UEL: 95000 ppm
 Ambient Boiling Point: -42.9° C
 Vapor Pressure at Ambient Temperature: greater than 1 atm
 Ambient Saturation Concentration: 1,000,000 ppm or 100.0%

ATMOSPHERIC DATA: (MANUAL INPUT OF DATA)
 Wind: 2 meters/second from WNW at 3 meters
 Ground Roughness: open country Cloud Cover: 8 tenths
 Air Temperature: 10° C Stability Class: B
 No Inversion Height Relative Humidity: 50%

SOURCE STRENGTH:
 Direct Source: 20 kilograms/min Source Height: 0
 Release Duration: 20 minutes
 Release Rate: 20 kilograms/min
 Total Amount Released: 400 kilograms
 Note: This chemical may flash back and/or result in two phase flow.

THREAT ZONE:
 Threat Modeled: Flammable Area of Vapor Cloud
 Model Run: Heavy Gas
 Red : 11 meters --- (21000 ppm = LEL)
 Note: Threat zone was not drawn because effects of near-field patchiness make dispersion predictions less reliable for short distances.
 Yellow: 19 meters --- (12600 ppm = 60% LEL = Flame Pockets)
 Note: Threat zone was not drawn because effects of near-field patchiness make dispersion predictions less reliable for short distances.

Flammable Threat Zone

Threat Modeled: Flammable Area of Vapor Cloud
 Model Run: Heavy Gas
 Red : 11 meters --- (21000 ppm = LEL)
 Note: Threat zone was not drawn because effects of near-field patchiness make dispersion predictions less reliable for short distances.
 Yellow: 19 meters --- (12600 ppm = 60% LEL = Flame Pockets)
 Note: Threat zone was not drawn because effects of near-field patchiness make dispersion predictions less reliable for short distances.

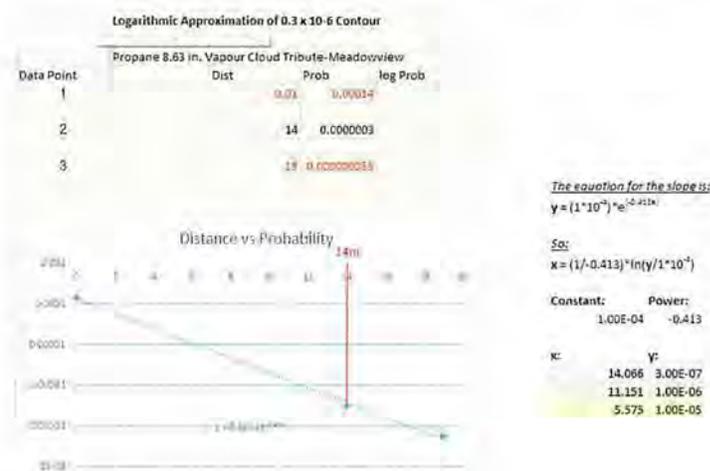
(no visual display output due to uncertainty of model predictions)

The risk related to delayed ignition flash fire for propane release =

$$\begin{aligned}
 & 1.5 \times 10^{-3} \text{ (probability of release – all pipelines)} \times 0.11 \text{ (probability of release > 6 inch diameter)} \\
 & \times 0.33 \text{ (probability of impact meteorology)} \\
 & \times 0.12 \text{ (probability of ignition – consequence event tree)} \\
 & \times 0.01 \text{ (probability of fatality due to the release (limit of probit function))} \\
 & = 5.5 \times 10^{-8} \text{ at 19 m downwind.}
 \end{aligned}$$

This assumes 60% LEL which is still considered to be potentially hazardous as propane vapour concentrations are unlikely to be uniform and there would likely be pockets of 100% LEL concentration.

The corresponding separation distances corresponding to 1×10^{-6} and 0.3×10^{-6} fatality risks are estimated to be 11 m and 14 m respectively as indicated following:



9.0 RISK ASSESSMENT

Risk Assessment is the determination of the risk of individual fatality due to some hazardous event and is usually described by:

$$\text{Risk} = \text{Consequence} \times \text{Probability} = \text{Impact of Hazard Event} \times \text{Likelihood of Occurrence}$$

For the hazard scenarios described previously, the Risk is expressed as the annual risk of individual fatality due to the hazardous event which is calculated from the extent of impact times the likelihood of occurrence.

The calculation of the risk thresholds is carried out in Excel based on the Inverse Square Law which is the geometric relationship between a heat, light or sound source and the square of the distance from the source.

The total risk from all hazard sources is $Risk_{TOT}$ and is equal to the sum of individual risk sources $= R_{TOT} = \sum_{i=1}^n R_i$. The revised risk is the sum of risk distances weighted by the frequency of occurrence as determined by: $\sum_{i=1}^n R_i (\text{Setback} \times \text{Frequency}) \div \text{Sum of Frequencies}$ as follows:

Table 5 Setback Calculation – Propane Pipeline

Event	Consequence Limit (m)	Frequency of Occurrence	Setback to 0.3×10^{-6} threshold (m)	Setback to 1.0×10^{-6} threshold (m)
Pool Fire	15	8.3×10^{-8}	11	9
Vapour Cloud Fire	19	5.5×10^{-8}	14	11
Weighted Setback (m)			12	10

For both consequence scenarios, calculating the actual Fatality Risk (Individual Risk) from: $IR = IR_0 e^{-Cx}$ where C depends on initial and final risk gives estimates of 0.3×10^{-6} and 1×10^{-6} Individual Risk at distances of 12 m and 10 m, respectively from the centre-line of the pipeline corridor.

These distances are taken as the appropriate risk separation for the criteria stated above and are shown on the attached Figure 1.

10.0 CONCLUSIONS

Given the information above, the following can be inferred:

1. A review of plausible hazard scenarios indicated that the overall geographic risk exposure to an occupant of the development lands is expected to meet the MIACC criterion of 0.3×10^{-6} probability of fatality everywhere exceeding a distance of 12 metres from the pipeline. For the 1×10^{-6} criterion, the separation is 10 metres. The actual risk is expected to be less than this given that future site occupants would not be exposed 24 hours per day; may be able to move away from any hazard and seek shelter; or in the case of the infirm, be sheltered in place.
2. No spills or leaks are on record for pipeline segments within 22 km of the subject lands.
3. There was an abandoned oil well at the east edge of the development lands, but this is not expected to be a concern to future residents or have an impact on land use.

11.0 CLOSURE

This report has been prepared for the exclusive use of the Qualico Developments West Ltd. and their agents for specific application to this project site. The Risk Assessment was conducted in accordance with the scope of work prepared for this project, the City of Leduc scope for Risk Assessments and generally accepted risk assessment practices. This report is subject to the Terms and Conditions of the Professional Services Agreement executed between representatives of Qualico Developments West Ltd. and Thomson Environmental Consulting.

We trust that the above information meets with your present requirements. Should you have any questions or if we could be of further assistance, please contact Jim Thomson at your convenience at (780) 720-4244.

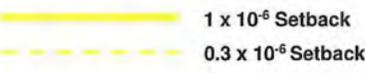
Respectfully submitted,

Thomson Environment Consulting

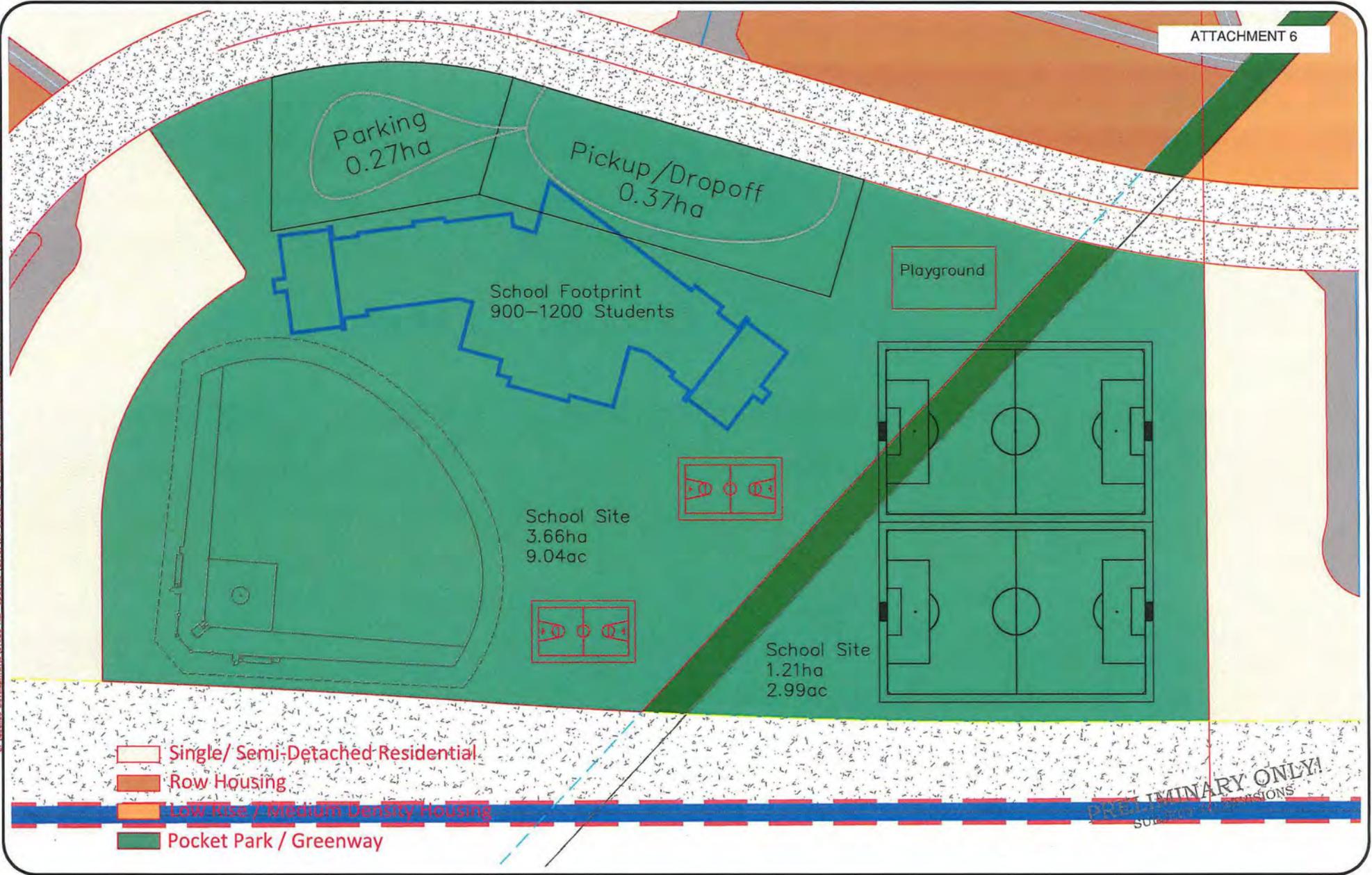
J. Thomson

Jim Thomson, P.Geo.,EP(CEA)
Principal, Risk Assessment



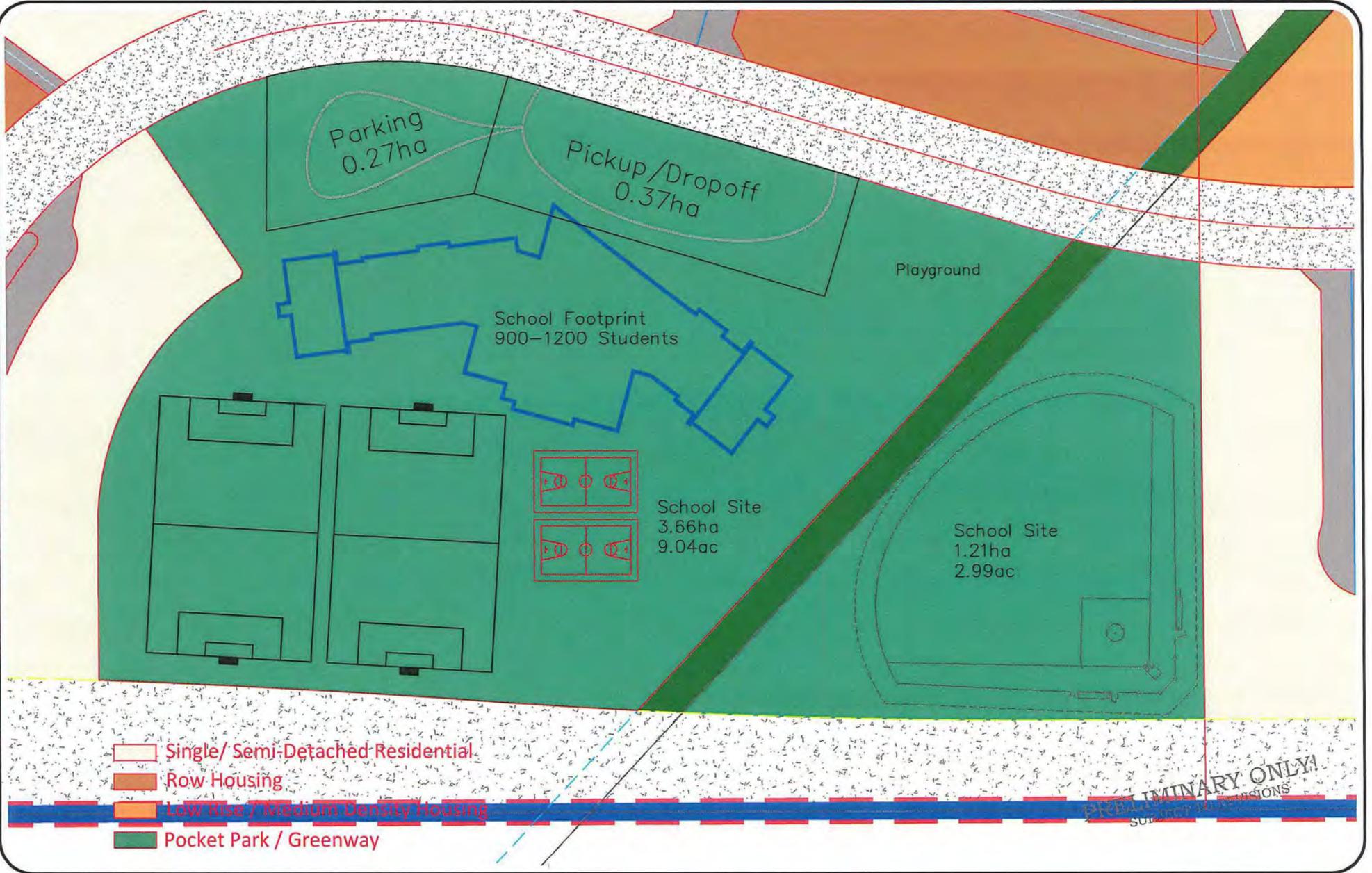
CLIENT: QUALICO DEVELOPMENTS WEST LTD.	DWN BY: JT CHKD BY:	PROJECT: RISK ASSESSMENT – TRIBUTE AND MEADOWVIEW PARK NEIGHBOURHOODS	DATE: AUGUST 3, 2018 PROJECT NO: RA18-08
THOMSON ENVIRONMENTAL CONSULTING 7704 – 190 Street, Edmonton, Alberta T5T 5H8	DATUM: PROJECTION: SCALE: 1:7,200	TITLE: EXTENT OF RISK THRESHOLDS FOR PIPELINE CORRIDOR 	REV. NO.: FIGURE NO. 1

E:\Quality Developments\61622 ASP Updates (2018)\05 Dates and Drawings\06 From Other\Quality\Site Concepts-Qualita\Site Concept - School Site.dwg



- Single/Semi-Detached Residential
- Row Housing
- Low Rise / Medium Density Housing
- Pocket Park / Greenway

PRELIMINARY ONLY
SUBJECT TO REVISIONS





Mayor's Report

May 20 – June 2, 2019

May 27

- Leduc County / City of Leduc Roadpatcher photo shoot
- Ribbon cutting | The Lighthouse Cowork Office Space
- D Toma, Toma & Bouma Management Consultants
- National Indigenous Peoples Day radio spot
- Committee-of-the-Whole and Council agenda review
- Committee-of-the-Whole
- Council

May 30 – June 2

- Federation of Canadian Municipalities conference

Approved by Mayor Bob Young

Original Signed by Mayor B. Young



Building Permit Detail Summary

May 1, 2019-May 31, 2019 (inclusive)

Commercial					
Permit	Type of Work	Builder	Units	Area	Valuation
PRBD201900540 (Issued-17/05/2019)	Alteration and improvements	Delnor Construction Ltd.		Central Business District	\$1,800,000.00
PRBD201900701 (Issued-15/05/2019)	Alteration and improvements	AVID HOMES LTD		Corinthia Park	\$60,000.00
PRBD201900913 (Issued-03/05/2019)	Alteration and improvements	KING ACCOUNTING SOLUTIONS INC.		Central Business District	\$5,000.00
PRBD201900940 (Issued-01/05/2019)	Demolition - All buildings	THE STORAGE BOXX		West Commercial	\$5,000.00
Subtotal			4		\$1,870,000.00
Duplex Dwelling					
Permit	Type of Work	Builder	Units	Area	Valuation
PRBD201900890 (Issued-03/05/2019)	New Construction - Duplex	Creation Communities Inc/ Homes by Creation	1	Deer Valley	\$329,000.00
PRBD201900892 (Issued-02/05/2019)	New Construction - Duplex	Creation Communities Inc/ Homes by Creation	1	Deer Valley	\$285,000.00
PRBD201900926 (Issued-16/05/2019)	New Construction - Duplex	ART CUSTOM HOMES INC	1	Meadowview Park	\$265,000.00
PRBD201900927 (Issued-16/05/2019)	New Construction - Duplex	ART CUSTOM HOMES INC	1	Meadowview Park	\$274,000.00
PRBD201901156 (Issued-27/05/2019)	New Construction - Duplex	AREO HOMES PVT LTD	1	West Haven	\$320,000.00
PRBD201901157 (Issued-27/05/2019)	New Construction - Duplex	AREO HOMES PVT LTD	1	West Haven	\$320,000.00
PRBD201901177 (Issued-28/05/2019)	New Construction - Duplex	BEDROCK HOMES LIMITED	1	Robinson	\$322,237.00
PRBD201901179 (Issued-28/05/2019)	New Construction - Duplex	BEDROCK HOMES LIMITED	1	Robinson	\$333,733.00
PRBD201901367 (Issued-30/05/2019)	New Construction - Duplex	Creation Communities Inc/ Homes by Creation	1	Deer Valley	\$343,000.00



Building Permit Detail Summary

May 1, 2019-May 31, 2019 (inclusive)

PRBD201901370 (Issued-28/05/2019)	New Construction - Duplex	Creation Communities Inc/ Homes by Creation	1	Deer Valley	\$374,000.00
Subtotal		10	10		\$3,165,970.00
Government/Institutional					
Permit	Type of Work	Builder	Units	Area	Valuation
PRBD201900653 (Issued-06/05/2019)	Accessory Structure - Temporary	RIVER CITY EVENT RENTALS & SALES LTD		South Telford	\$2,400.00
PRBD201901259 (Issued-21/05/2019)	Alteration and improvements	CLARK BUILDERS		East Industrial	\$19,000.00
PRBD201901285 (Issued-27/05/2019)	Accessory Structure - Temporary	INFINITE EVENT SERVICES		South Park	\$10,000.00
Subtotal		3			\$31,400.00
Industrial					
Permit	Type of Work	Builder	Units	Area	Valuation
PRBD201900573 (Issued-06/05/2019)	New Construction - Industrial Building	SYNERGY PROJECTS LTD		Harvest Industrial Park	\$3,100,000.00
PRBD201900707 (Issued-08/05/2019)	Alteration and improvements	SBC CONSTRUCTION SERVICES LTD		Northeast Industrial Park	\$145,000.00
PRBD201901035 (Finaled-17/05/2019)	Pre-fabricated building	SYNERGY PROJECTS LTD		Harvest Industrial Park	\$12,000.00
PRBD201901044 (Issued-15/05/2019)	Alteration and improvements	UNIFIED PLUMBING & HEATING INC.		East Industrial	\$15,000.00
PRBD201901283 (Issued-29/05/2019)	Alteration and improvements	STANG AUTOMATION INC		Leduc Business Park	\$6,000.00
Subtotal		5			\$3,278,000.00
Other Residential					
Permit	Type of Work	Builder	Units	Area	Valuation
PRBD201804742 (Issued-17/05/2019)	Accessory Structure - Detached Garage	Alquinn Homes Ltd.		Woodbend	\$15,000.00
PRBD201804754 (Issued-17/05/2019)	Accessory Structure - Detached Garage	Alquinn Homes Ltd.		Woodbend	\$13,000.00



Building Permit Detail Summary

May 1, 2019-May 31, 2019 (inclusive)

PRBD201804755 (Issued-17/05/2019)	Accessory Structure - Detached Garage	Alquinn Homes Ltd.		Woodbend	\$15,000.00
PRBD201900461 (Issued-09/05/2019)	Basement Development	STARCHUK DANIEL D		Suntree	\$20,000.00
PRBD201900491 (Issued-02/05/2019)	Accessory Structure - Detached Garage	LOOK MASTER BUILDER EDMONTON INC		Black Stone	\$15,000.00
PRBD201900660 (Issued-07/05/2019)	Accessory Structure - Hot Tub	GREGOIRE RAYMOND P		South Telford	\$41,750.00
PRBD201900666 (Issued-03/05/2019)	Secondary suite	Prominent Homes Edmonton Ltd	1	Black Stone	\$25,000.00
PRBD201900713 (Issued-02/05/2019)	Accessory Structure - Detached Garage	TUCKER JESSE		Southfork	\$15,000.00
PRBD201900756 (Issued-02/05/2019)	Secondary suite	Prominent Homes Edmonton Ltd	1	Deer Valley	\$25,000.00
PRBD201900765 (Issued-13/05/2019)	Accessory Structure - Deck Uncovered	ACCENT LANDSCAPE CREATIONS LTD		Meadowview Park	\$25,000.00
PRBD201900783 (Issued-03/05/2019)	Accessory Structure - Detached Garage	Lincolnberg Homes Ltd		Black Stone	\$20,000.00
PRBD201900807 (Issued-02/05/2019)	Accessory Structure - Deck Uncovered	NSHIMIEIMANA STEPHEN		Southfork	\$25,000.00
PRBD201900819 (Finaled-01/05/2019)	Alteration and improvements	GREAT CANADIAN SOLAR LTD		Caledonia Park	\$14,260.00
PRBD201900856 (Issued-02/05/2019)	Accessory Structure - Detached Garage	VERSTRAETE AUSTIN A		Southfork	\$15,000.00
PRBD201900857 (Finaled-01/05/2019)	Demolition - Detached Garage	ZIEGLER CHRISTOPHER		Caledonia Park	\$5,000.00
PRBD201900858 (Issued-08/05/2019)	Accessory Structure - Detached Garage	ZIEGLER CHRISTOPHER		Caledonia Park	\$20,000.00
PRBD201900866 (Issued-09/05/2019)	Basement Development	MEIMBRESSE ROMAN		Tribute	\$15,000.00
PRBD201900902 (Issued-27/05/2019)	Accessory Structure - Detached Garage	Lincolnberg Homes Ltd		Black Stone	\$20,000.00
PRBD201900906 (Issued-23/05/2019)	Accessory Structure - Detached Garage	HOMES BY AVI (EDMONTON) LP		Southfork	\$12,000.00



Building Permit Detail Summary

May 1, 2019-May 31, 2019 (inclusive)

PRBD201900921 (Issued-09/05/2019)	Secondary suite	Prominent Homes Edmonton Ltd	1	Deer Valley	\$40,000.00
PRBD201900923 (Issued-03/05/2019)	Basement Development	PARADIS JENNA		Suntree	\$17,000.00
PRBD201900931 (Issued-13/05/2019)	Secondary suite	SEHJAS HOMES LTD	1	Deer Valley	\$50,000.00
PRBD201900932 (Finaled-08/05/2019)	Accessory Structure - Deck Uncovered	DECK WORKS CONSTRUCTION INC		Meadowview Park	\$5,000.00
PRBD201900945 (Issued-13/05/2019)	Basement Development	REYNALDS ROBYN DAWN		Southfork	\$25,000.00
PRBD201900950 (Issued-14/05/2019)	Accessory Structure - Shed	SIDORUK SERGIUS A		Robinson	\$4,500.00
PRBD201900951 (Issued-13/05/2019)	Accessory Structure - Deck Uncovered	SIDORUK SERGIUS A		Robinson	\$25,000.00
PRBD201900952 (Issued-14/05/2019)	Accessory Structure - Detached Garage	DUKE KEN J		Suntree	\$13,000.00
PRBD201900953 (Issued-27/05/2019)	Accessory Structure - Detached Garage	CALIBER MASTER BUILDER LTD		Black Stone	\$13,000.00
PRBD201900958 (Issued-03/05/2019)	Basement Development	NAIDU JAGAN		Bridgeport	\$36,000.00
PRBD201900962 (Issued-03/05/2019)	Demolition - Single Detached Dwelling	HOMES BY SHER-BILT INC		South Telford	\$20,000.00
PRBD201900972 (Issued-17/05/2019)	Accessory Structure - Deck Uncovered	DOVE DARWIN		Windrose	\$3,000.00
PRBD201900980 (Issued-16/05/2019)	Accessory Structure - Deck Uncovered	DALMER RYAN		West Haven	\$25,000.00
PRBD201900987 (Issued-14/05/2019)	Basement Development	MSL PROJECTS & DESIGN INC		Southfork	\$18,000.00
PRBD201901019 (Issued-17/05/2019)	Accessory Structure - Deck Uncovered	ZIEGLER PETER G		West Haven	\$2,000.00
PRBD201901023 (Issued-16/05/2019)	Basement Development	BARTLETT MICHAEL		Southfork	\$23,000.00
PRBD201901025 (Issued-15/05/2019)	Accessory Structure - Hot Tub	AVIS BRIDGET		Southfork	\$14,000.00



Building Permit Detail Summary

May 1, 2019-May 31, 2019 (inclusive)

PRBD201901053 (Issued-29/05/2019)	Basement Development	GRIFFITHS JOHN R		West Haven	\$5,000.00
PRBD201901056 (Issued-22/05/2019)	Accessory Structure - Shed	CONRAD REID K		Willow Park	\$5,000.00
PRBD201901061 (Issued-31/05/2019)	Accessory Structure - Detached Garage	R & R Stewart General Contracting Services Inc.		Southfork	\$12,000.00
PRBD201901075 (Issued-15/05/2019)	Basement Development	Feist Robert		Meadowview Park	\$30,000.00
PRBD201901101 (Issued-23/05/2019)	Accessory Structure - Deck Uncovered	MCELREA SCOTT		Southfork	\$10,000.00
PRBD201901122 (Issued-30/05/2019)	Accessory Structure - Detached Garage	The Premier Construction Group Inc/ Premier Built Garages		Deer Valley	\$30,000.00
PRBD201901125 (Issued-13/05/2019)	Basement Development	1865660 AB Ltd/ Rundle Homes		Windrose	\$40,000.00
PRBD201901126 (Issued-23/05/2019)	Addition - Deck Cover/Roof	IDEAL CONTRACT SERVICES LTD		Caledonia Park	\$19,000.00
PRBD201901139 (Issued-31/05/2019)	Alteration and improvements	Affordable Green Sun Solar Inc.		Windrose	\$15,435.00
PRBD201901193 (Issued-28/05/2019)	Accessory Structure - Detached Garage	HOMES BY AVI (EDMONTON) LP		Southfork	\$12,000.00
PRBD201901197 (Finaled-27/05/2019)	Accessory Structure - Deck Uncovered	NAYLOR CHRISTOPHER		Bridgeport	\$5,000.00
PRBD201901198 (Finaled-27/05/2019)	Accessory Structure - Hot Tub	NAYLOR CHRISTOPHER		Bridgeport	\$14,435.00
PRBD201901218 (Issued-28/05/2019)	Secondary suite	CRANSTON HOMES LTD	1	Black Stone	\$30,000.00
PRBD201901279 (Issued-28/05/2019)	Basement Development	WILSON BRENDEN		Deer Valley	\$12,000.00
PRBD201901315 (Issued-28/05/2019)	Accessory Structure - Deck Uncovered	ENCORE MASTER BUILDER INC.		West Haven	\$5,000.00
PRBD201901330 (Issued-22/05/2019)	Basement Development	MCAULEY DENNIS		Southfork	\$25,000.00
PRBD201901336 (Issued-28/05/2019)	Secondary suite	DYCK GORDON A	1	Central Business District	\$50,000.00



Building Permit Detail Summary

May 1, 2019-May 31, 2019 (inclusive)

PRBD201901343 (Issued-28/05/2019)	Accessory Structure - Deck Uncovered	RED-WHEEL CONSTRUCTION LTD		Southfork	\$4,500.00
PRBD201901355 (Issued-28/05/2019)	Accessory Structure - Deck Uncovered	R & R Stewart General Contracting Services Inc.		Robinson	\$5,000.00
Subtotal		55		6	\$993,880.00
Single Detached Dwelling					
Permit	Type of Work	Builder	Units	Area	Valuation
PRBD201900493 (Issued-24/05/2019)	New Construction - Single Detached Dwelling	1997686 Alberta Ltd O/S Savanna Homes	1	Suntree	\$313,000.00
PRBD201900578 (Issued-09/05/2019)	New Construction - Single Detached Dwelling	ART CUSTOM HOMES INC	1	Meadowview Park	\$306,000.00
PRBD201900746 (Issued-22/05/2019)	New Construction - Single Detached Dwelling	Lincolnberg Homes Ltd	1	Black Stone	\$360,000.00
PRBD201900782 (Issued-15/05/2019)	New Construction - Single Detached Dwelling	Lincolnberg Homes Ltd	1	Black Stone	\$449,000.00
PRBD201900785 (Issued-17/05/2019)	New Construction - Single Detached Dwelling	BEDROCK HOMES LIMITED	1	Woodbend	\$266,000.00
PRBD201900790 (Issued-17/05/2019)	New Construction - Single Detached Dwelling	BEDROCK HOMES LIMITED	1	Woodbend	\$367,000.00
PRBD201900917 (Issued-09/05/2019)	New Construction - Single Detached Dwelling	ART CUSTOM HOMES INC	1	Meadowview Park	\$407,000.00
PRBD201900919 (Issued-08/05/2019)	New Construction - Single Detached Dwelling	SEHJAS HOMES LTD	1	Deer Valley	\$490,000.00
PRBD201900957 (Issued-14/05/2019)	New Construction - Single Detached Dwelling	ART CUSTOM HOMES INC	1	Meadowview Park	\$398,000.00
PRBD201901018 (Issued-16/05/2019)	New Construction - Single Detached Dwelling	MCPHERSON DONALD CHARLES	1	Deer Valley	\$268,000.00
PRBD201901036 (Issued-02/05/2019)	New Construction - Single Detached Dwelling	ART CUSTOM HOMES INC	1	Meadowview Park	\$406,000.00
PRBD201901058 (Issued-16/05/2019)	New Construction - Single Detached Dwelling	Creation Communities Inc/ Homes by Creation	1	Deer Valley	\$348,000.00
PRBD201901060 (Issued-24/05/2019)	New Construction - Single Detached Dwelling	Creation Communities Inc/ Homes by Creation	1	Deer Valley	\$390,000.00



Building Permit Detail Summary

May 1, 2019-May 31, 2019 (inclusive)

PRBD201901083 (Issued-06/05/2019)	New Construction - Single Detached Dwelling	JAYMAN BUILT LTD	1	Southfork	\$274,520.00
PRBD201901143 (Issued-10/05/2019)	New Construction - Single Detached Dwelling	CRANSTON HOMES LTD	1	Black Stone	\$500,000.00
PRBD201901166 (Issued-10/05/2019)	New Construction - Single Detached Dwelling	Prominent Homes Edmonton Ltd	1	Black Stone	\$360,000.00
PRBD201901192 (Issued-28/05/2019)	New Construction - Single Detached Dwelling	HOMES BY AVI (EDMONTON) LP	1	Southfork	\$339,147.29
PRBD201901200 (Issued-14/05/2019)	New Construction - Single Detached Dwelling	VICTORY HOMES LTD	1	Meadowview Park	\$513,000.00
PRBD201901226 (Issued-29/05/2019)	New Construction - Single Detached Dwelling	Creation Communities Inc/ Homes by Creation	1	Deer Valley	\$403,000.00
PRBD201901235 (Issued-27/05/2019)	New Construction - Single Detached Dwelling	Creation Communities Inc/ Homes by Creation	1	Deer Valley	\$291,000.00
Subtotal		20	20		\$7,448,667.29
Townhouse (3-6 units) Fee Simple Lots					
Permit	Type of Work	Builder	Units	Area	Valuation
PRBD201804732 (Issued-07/05/2019)	New Construction - Townhouse	Alquinn Homes Ltd.	1	Woodbend	\$300,000.00
PRBD201804752 (Issued-07/05/2019)	New Construction - Townhouse	Alquinn Homes Ltd.	1	Woodbend	\$230,000.00
PRBD201804753 (Issued-08/05/2019)	New Construction - Townhouse	Alquinn Homes Ltd.	1	Woodbend	\$285,000.00
Subtotal		3	3		\$815,000.00
Total		100	39		\$17,602,917.29

TOTAL RESIDENTIAL UNITS COMPARISON OF 2019 TO 2018

YEAR 2019	Single Family	Duplex (side by side and up & down)	Multi Family (3-plex, 4-plex, townhouse, rowhousing and apartments)	Secondary Suites
	No. of Units	No. of Units	No. of Units	No. of Units
January	6	0	0	8
February	10	2	0	3
March	16	2	0	4
April	13	2	0	4
May	20	10	3	6
June				
July				
August				
September				
October				
November				
December				
Year-to-date Totals	65	16	3	25

YEAR 2018	Single Family	Duplex (side by side and up & down)	Multi Family (3-plex, 4-plex, townhouse, rowhousing and apartments)
	No. of Units	No. of Units	No. of Units
January	25	4	4
February	23	3	0
March	19	2	8
April	17	16	0
May	19	10	-
June			
July			
August			
September			
October			
November			
December			
Year-to-date Totals	103	35	12

TOTAL PERMIT VALUE COMPARISON OF 2019 TO 2018

Year 2019	Residential Permits	Commercial Permits	Institutional Permits	Industrial Permits	Total of all Building Permits
January	\$ 3,104,500.00	\$ 598,936.00	\$ 45,000.00	\$ 4,988,000.00	\$ 8,736,436.00
Feburary	\$ 4,713,250.00	\$ 266,982.66	\$ 270,000.00	\$ 80,000.00	\$ 5,330,232.66
March	\$ 6,835,444.00	\$ 35,000.00	\$ -	\$ -	\$ 6,870,444.00
April	\$ 6,500,146.00	\$ 100,000.00	\$ -	\$ 2,943,862.00	\$ 9,544,008.00
May	\$ 12,423,517.29	\$ 1,870,000.00	\$ 31,400.00	\$ 3,278,000.00	\$ 17,602,917.29
June					
July					
August					
September					
October					
November					
December					
Year-to-date Totals	\$ 33,576,857.29	\$ 2,870,918.66	\$ 346,400.00	\$ 11,289,862.00	\$ 48,084,037.95

Year 2018	Residential Permits	Commercial Permits	Institutional Permits	Industrial Permits	Total of all Building Permits
January	\$ 11,972,203.59	\$ 803,000.00	\$ -	\$ 240,207.00	\$ 13,015,410.59
Feburary	\$ 10,816,251.42	\$ 235,000.00	\$ 400,000.00	\$ 10,000.00	\$ 11,461,251.42
March	\$ 10,585,472.33	\$ 8,000.00	\$ -	\$ -	\$ 10,593,472.33
April	\$ 11,218,088.00	\$ 73,000.00	\$ 156,600.00	\$ 309,000.00	\$ 11,756,688.00
May	\$ 10,517,255.57	\$ 59,000.00	\$ 1,981,000.00	\$ 830,000.00	\$ 13,387,255.57
June					
July					
August					
September					
October					
November					
December					
Year-to-date Totals	\$ 55,109,270.91	\$ 1,178,000.00	\$ 2,537,600.00	\$ 1,389,207.00	\$ 60,214,077.91

May 2019 - Newly Issued Business Licences

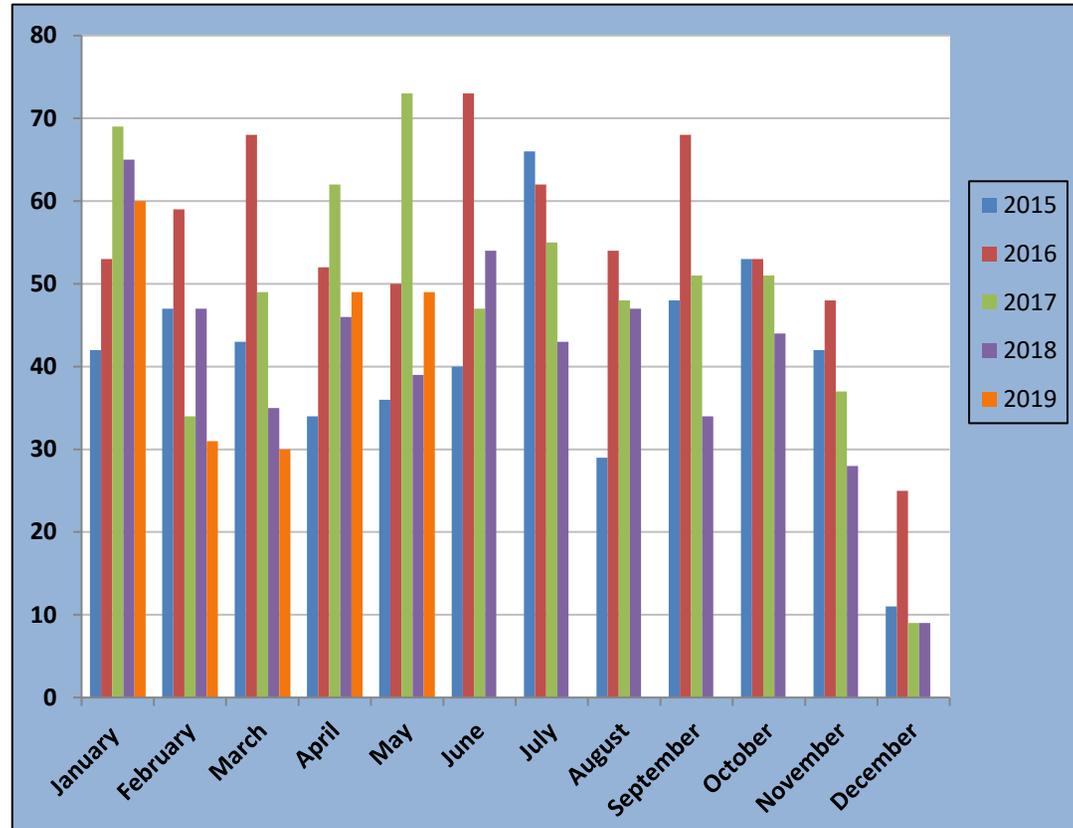
License #	Business Name	Address	Activity	Contact	Category	TaxRoll
LCB201900405	Tribal Roots Imports	3805 33 AVE, Leduc, AB	Online store -imported handcrafts	7805545023	Home Based	008238
LCB201900446	Lashes by Karen	341 SIMMONDS WAY, Leduc, AB	Certified Lash Technician	7096368658	Home Based	017120
LCB201900479	Ace Liquor Discounter at Corinthia	4302 50 ST, Unit:002, Leduc, AB	LIQUOR RETAIL SALES	7807807399	General	006343
LCB201900480	Junk VIP Ltd.	6559 SPARROW DR, Leduc, AB	Junk pick-up and disposal business	7809653363	General	008094
LCB201900486	Performance Agility Club of Edmonton		Hosting an agility regional championship, June 13-16, 2019	7802397967	Mobile	
LCB201900499	Erin Schmautz o/a Erin Angela Holistic Nutrition	23 MOBERG RD, Leduc, AB	Online Nutrition Consulting/Programs	5877858430	Home Based	007864
LCB201900504	Dynamic Urethanes Inc.	7611 SPARROW DR, Unit:307	Sales & Distribution	7805043022	General	015657
LCB201900541	1116664 Alberta Ltd	1 ALEXANDRA PK, Leduc, AB	Mobile Food Trailer (mini-donuts) - Tournament, May 18th	7803892256	Mobile	007432
LCB201900545	1116664 ALBERTA LTD	4330 BLACK GOLD DR, Leduc, AB	MOBILE FOOD TRAILER (mini-donuts) - May 19 & 20	7803892256	Mobile	005981
LCB201900561	FAT FRANKS		Hot Dog Cart - May 11, 2019 (Arbour Day) - Outlook Park	7804130278	Mobile	
LCB201900562	MicheLynn Professional Cleaning Services	4415 48 ST, Unit:407, Leduc, AB	Providing Residential and Commercial Cleaning Services	7809837174	Home Based	015579
LCC201900563	Knight Specialties Inc		Supply and installation of Wood, Glass and Steel.	7808091225	Non-Resident	
LCB201900587	Incredible Edibles Food Truck Catering	4801 44 ST, Leduc, AB	FOOD TRUCK - Hello Local Market - May 11, 2019	7809829301	Mobile	007002
LCB201900591	JOANNE'S FOOD CART CORP.	4 ALEXANDRA PK, Leduc, AB	Mobile Food Truck	6394701709	Mobile	007435
LCC201900599	Affordable Green Sun Solar		SOLAR POWER INSTALLER & SUPPLIER	5878829725	Non-Resident	
LCB201900600	2190366 Alberta Ltd.	221 SHEPPARD CIR, Leduc, AB	Window washing	7806679536	Home Based	016534
LCB201900606	Albertacarkeys Ltd	5908 50 ST, Unit:9, Leduc, AB	Automotive locksmith services	7806197611	General	010347
LCC201900608	Jadecor Developments Ltd		Construction/Electrical Contractor	7808187904	Non-Resident	
LCC201900615	Hinse Brothers Mechanical Inc		Plumbing, Gas and HVAC Contractor	7809745996	Non-Resident	
LCB201900619	Edmonton Bouncy Castle Ltd		Party rentals	7806863554	Non-Resident	
LCB201900622	Fat Franks	4330 BLACK GOLD DR, Leduc, AB	HOT DOG CART - July 1, 2019 - LRC east parking lot	7804130278	Mobile	005981
LCC201900624	G.L.V. Travellers Inc.		General Contractor	5876009185	Non-Resident	
LCC201900631	CAMDON CONSTRUCTION LTD		GENERAL CONTRACTOR	4033431233	Non-Resident	
LCB201900634	Michelle Sych	4801 44 ST, Leduc, AB	Selling handmade goods - May 11, June 15 & Sept 21st	7809511923	Mobile	007002
LCB201900636	2192156 Alberta Ltd	206 TELFORD CRT, Leduc, AB	Mobile kitchen & catering	7805661864	Home Based	006934
LCC201900639	S & R LANDSCAPING LTD		GENERAL CONTRACTOR	7809459259	Non-Resident	
LCC201900641	ROYDECOR CONSTRUCTION LTD		GENERAL CONSTRUCTION	7806959666	Non-Resident	
LCB201900642	Pinch Flatbed, Inc.	7701 39 ST, Leduc, AB	Trucking company primarily servicing oilfield.	8323993223	General	014120
LCC201900643	Modern Niagara Alberta Inc.		Commercial mechanical contractor	7804554605	Non-Resident	
LCC201900645	J.T. Setters & Sons Construction LTD		Excavation, Construction Site Preparation, Gravel Hauling	4033464937	Non-Resident	
LCB201900649	Alberta Pilot Truck Alliance Ltd.	4806 47 AVE, Leduc, AB	Pilot Truck Brokers	7808193136	General	009770
LCC201900666	Dymond Zye		EXTERIOR RENOVATIONS	7804146520	Non-Resident	
LCC201900668	Perfect Heating & Air-Conditioning Ltd.		HVAC	4039182543	Non-Resident	
LCB201900674	AURORA FAUX BLOOMS INC.	69 DOUGLAS CRES, Leduc, AB	Distribution & wholesale of artificial floral products	7809865647	Home Based	012810
LCC201900675	Mike Murphy Contracting	88 WILKINSON PL, Leduc, AB	HOME CONSTRUCTION	7809156296	Home Based	013442
LCB201900676	AC TRADING	287 AMEENA DR, Leduc, AB	SELLING BEAUTY PRODUCTS, SLIMMING COFFEE	7809869598	Home Based	019826

May 2019 - Newly Issued Business Licences

LCB201900677	SEN-DIT HOT SHOT SERVICES LTD	512 REYNALDS WYND, Leduc, AB	HOTSHOT	7807190455	Home Based	016745
LCB201900679	True North Health and Wellness Ltd	6109 45 ST, Unit:7, Leduc, AB	HEALTH & WELLNESS/ GYM	5879907790	General	015494
LCB201900680	Cornerstone BBQ	4330 BLACK GOLD DR, Leduc, AB	FOOD TRUCK - May 18-20th, 8am-9pm; LRC	7802783825	Mobile	005981
LCB201900686	Frame to Finish Cleaning Ltd.		Commercial and residential cleaning services.	7809386961	Non-Resident	
LCC201900687	Mission Electrical Systems Ltd.		Commercial electrical contractor	4033560076	Non-Resident	
LCB201900688	MIKE JABER	3805 50 ST, Leduc, AB	BLANKET VENDOR	7809966617	Mobile	010301
LCB201900699	Frosted Feathers	4801 44 ST, Leduc, AB	Handmade jewelry and art - Aug. 10 & Sept. 14th	7809824694	Mobile	007002
LCB201900700	Petals & Pretties - Kayla Pullyblank	161 KEYPORT CIR, Leduc, AB	Homemade headbands and hair clips	7802227733	Home Based	014942
LCB201900701	JEEPNEY JAYTEE	4 ALEXANDRA PK, Leduc, AB	FOOD TRUCK	7806670217	Mobile	007435
LCB201900705	Tessa M Designs - Tessa Rasmussen	4801 44 ST, Leduc, AB	Handmade jewellery - Hello Local Market - June 15, 2019	4038726308	Mobile	007002
LCB201900715	SHAUNA GODSMAN/ FUZZY TAIL TREATS	4801 44 ST, Leduc, AB	PET TREATS - Hello Local Market - June 15 & Sept. 14th	7804056563	Mobile	007002
LCC201900719	CURRINGTON BUILDERS		CARPENTRY CONSTRUCTION	7802937533	Non-Resident	
LCC201900722	ROOFER DON		ROOFING	5877839174	Non-Resident	
Total		49				

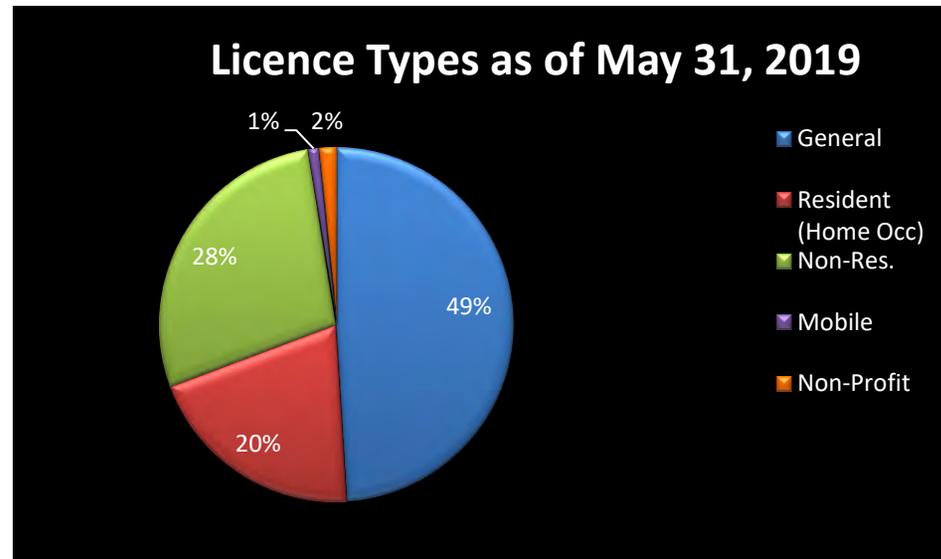
Newly Issued Business Licences Comparison by Year

	2015	2016	2017	2018	2019
January	42	53	69	65	60
February	47	59	34	47	31
March	43	68	49	35	30
April	34	52	62	46	49
May	36	50	73	39	49
June	40	73	47	54	
July	66	62	55	43	
August	29	54	48	47	
September	48	68	51	34	
October	53	53	51	44	
November	42	48	37	28	
December	11	25	9	9	
Total	491	665	585	491	219



Current Licence Types

	General	Resident	Non-Res.	Mobile	Non-Profit	Total
January	778	289	376	6	19	1468
February	885	335	424	7	26	1677
March	923	363	467	8	30	1791
April	944	381	499	13	30	1867
May	949	393	545	19	30	1936
June						0
July						0
August						0
September						0
October						0
November						0
December						0



2015 Year End for Comparison

Total	936	371	840	41	15	2203
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2016 Year End for Comparison

Total	971	403	809	44	23	2250
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2017 Year End for Comparison

Total	972	405	895	23	30	2325
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2018 Year End for Comparison

Total	999	413	860	48	29	2349
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