



City of Leduc Policy

Policy Title: LOT DRAINAGE

Policy No: 61.00:03

Revision No: 1

Supersedes: Original

Authority: Council	Approval Date: March 11, 2019
Responsible Division: Planning and Development	Effective Date: March 11, 2019
Relevant Legislation:	
Relevant Bylaw and Date(s): Bylaw 229-91, September 23, 1991	
Relevant Council Resolution: 375/91	
Authority's Signature: "Original Signed by Mayor B. Young"	

Policy Objective:

To minimize infiltration and inflow of extraneous water into the sanitary sewer system and to reduce the possibility of soil erosion and surface drainage problems on public and private properties.

Definitions:

Alberta Building Code means the standards and respective Regulations under the Safety Codes Act.

City means the City of Leduc.

City Engineer means the City of Leduc Director of Engineering.

Developer means a person or an authorized and delegated representative that submits an application:

1. to enter into a Development Agreement with the City of Leduc; or
2. for a Development Permit.

Development Agreement means the agreement signed between the Developer and the City for the purpose of servicing and generally facilitating a development or subdivision.

Final Lot Grading Certificate means a document prepared by a Surveyor that confirms strategic elevations for the lot.

Lot Grading Plan, at the discretion of the City Engineer, means the grading plan prepared by:

- A) a Surveyor, in the case of a lot for a single detached or duplex dwelling with an approved Subdivision Grading Plan; or
- B) A Professional Engineer, in all other cases.

A Lot Grading Plan may also be referred to as a Plot Plan or a Site Plan.

Professional Engineer means a member of the Association of Professional Engineers and Geoscientists of Alberta (APEGA) having the right to practice within Alberta under the Engineering and Geoscience Profession Act.

Subdivision Grading Plan means the grading plan prepared by a Professional Engineer for the stage for which a Development Agreement has been signed and approved by the City Engineer or a delegated staff.

Surveyor means an Alberta Land Surveyor as defined in the Land Surveyors Act.

Policy:

1. To ensure protection for the resident and the City, the following is required:
 - A. The elimination of subsurface drainage being connected to the sanitary sewer system;
 - B. The control of surface drainage within private property and from there onto public property; and
 - C. The carrying out of procedures to ensure compliance with approved engineering design drainage plan.

As a result of the above, builders and property owners must, as a requirement of a Building Permit, make provisions for surface and subsurface drainage, and must ensure that all finished grades provide drainage away from the building.

Process:

1. The following requirements are provided to ensure that builders and property owners adequately implement acceptable standards for surface drainage:

- A. A Subdivision Grading Plan shall indicate drainage and finished grade elevations on each lot proposed for development. After the review and acceptance of the plan, any changes in the Subdivision Grading Plan must be stamped by a Professional Engineer and must be submitted to the Planning & Development Department prior to construction. Planning & Development will coordinate with the City Engineer.
- B. A Lot Grading Completion Certificate shall be submitted to the Planning & Development Department when development is completed upon a lot.

The Lot Grading Completion Certificate must indicate the elevation at all corners of the lot and at all corners of the building. A vertical measurement must be provided indicating the distance between the finished lot grade and a fixed identifiable location at each corner of the building.

- C. Prior to the issuance of the Final Acceptance Certificate where a Development Agreement has been signed, lot grading requirements of the City of Leduc Engineering Standards shall apply, and conformance to grades will be the responsibility of the Developer.
- D. The subsurface drainage shall be disposed of by means other than into the sanitary sewer system unless special permission is granted by the City's Public Services Department.
- E. To ensure the integrity of the long term operation of the weeping tile system, downspouts shall not be connected to the weeping tile system. Surface water should be directed away from window wells or any other devices which might lead to the weeping tile system.
- F. A builder, owner, or resident shall not alter any lot drainage or finished grade elevations as approved or accepted by the City unless approval has been granted by the City to do so.
- G. Concrete exterior foundation walls shall extend at least 150 mm (6 in.) above finished ground level or as specified in the Alberta Building Code.
- H. Should the bottom of basement windows not meet the minimum elevation above finished grade, other means of protection must be provided and meet all requirements of the Alberta Building Code.
- I. Downspouts and surface discharge from the sump must extend a minimum of 1.2 m (4 ft.) from foundation walls by the use of impermeable hard surface or drainage pipe at sufficient grade to ensure that water will not accumulate at, or near, the building (see Appendix A for illustration). As an alternative, underground and surface discharge must terminate at least 3 m (9 ft. 10 in.) from any public sidewalk, curb, or roadway in a manner which will prevent soil erosion on the parcel or on private property. Drainage must not be permitted to encroach on adjacent properties unless a reciprocal easement agreement for drainage is prepared and registered on Title for all lots affected by the drainage agreement. The City of Leduc shall be a third party to all drainage agreements.

Appendix A

Typical sump pump design (for illustrative purposes only)

